

ORDINANCE NOTES

- 1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE A SITE PLAN AMENDMENT AND APPROVAL FROM THE DEVELOPMENT SERVICES DEPARTMENT.
2. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING CODE APPROVAL; FIRE CODE APPROVAL; OR BUILDING, DEMOLITION, OR RELOCATION PERMITS APPROVAL. A CITY DEMOLITION OR RELOCATION PERMIT CAN ONLY BE ISSUED ONCE THE HISTORIC REVIEW PROCESS IS COMPLETED.
3. ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
4. THE OWNER IS RESPONSIBLE FOR ALL COSTS OF RELOCATION OF, OR DAMAGE TO, UTILITIES.
5. ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
6. A SITE DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR LAND USE COMMISSION APPROVED SITE PLANS.
7. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN -- OR IDENTIFY THE SERVICE PROVIDER IF OTHER THAN THE CITY OF AUSTIN.
8. NO CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR THE PROPOSED RESIDENTIAL CONDOMINIUM PROJECT UNTIL THE OWNER OR OWNERS OF THE PROPERTY HAVE COMPLIED WITH CHAPTER 81 AND 82 OF THE PROPERTY CODE OF THE STATE OF TEXAS OR ANY OTHER STATUTES ENACTED BY THE STATE CONCERNING CONDOMINIUMS.

GENERAL CONSTRUCTION NOTES

- 1. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
2. CONTRACTOR SHALL CALL TEXAS 811 (811 OR 1-800-344-8377) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.
3. CONTRACTOR SHALL NOTIFY THE CITY OF AUSTIN - SITE & SUBDIVISION DIVISION TO SUBMIT REQUIRED DOCUMENTATION, PAY CONSTRUCTION INSPECTION FEES, AND TO SCHEDULE THE REQUIRED SITE AND SUBDIVISION PRE-CONSTRUCTION MEETING. THIS MEETING MUST BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE R.O.W. OR PUBLIC EASEMENTS. PLEASE VISIT HTTP://AUSTINTEXAS.GOV/PAGE/COMMERCIAL-SITE-AND-SUBDIVISION-INSPECTIONS FOR A LIST OF SUBMITTAL REQUIREMENTS, INFORMATION CONCERNING FEES, AND CONTACT INFORMATION.
4. FOR SLOPES OR TRENCHES GREATER THAN FIVE FEET IN DEPTH, A NOTE MUST BE ADDED STATING: "ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 EAST 6TH STREET, AUSTIN TEXAS.)
5. ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS.
6. UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE FOLLOWING, THE ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE, DRAINAGE AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS:
o RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE DEVELOPMENT SERVICES DEPARTMENT (INSIDE THE CITY LIMITS); OR
o INSTALLATION OF AN ELECTRIC OR WATER METER (IN THE FIVE-MILE ETJ)

DEVELOPER INFORMATION

CITY OF AUSTIN PARKS AND RECREATION DEPARTMENT (512) 974-6700
OWNER PHONE #
200 S. LAMAR BOULEVARD, AUSTIN, TEXAS 78704
OWNER ADDRESS
OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS PHONE #
PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE PHONE #
PERSON OR FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE PHONE #

AUSTIN WATER UTILITY GENERAL CONSTRUCTION NOTES

- 1. THE CITY STANDARD CONSTRUCTION SPECIFICATIONS CURRENT AT THE TIME OF BIDDING SHALL COVER MATERIAL AND METHODS USED TO DO THIS WORK.
2. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT FROM WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT, RIGHT OF WAY MANAGEMENT DIVISION BEFORE BEGINNING CONSTRUCTION WITHIN THE RIGHT-OF-WAY OF A PUBLIC STREET OR ALLEY.
3. AT LEAST 48 HOURS BEFORE BEGINNING ANY WATER AND WASTEWATER CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT, THE CONTRACTOR SHALL NOTIFY WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT OF WATER AND WASTEWATER UTILITY TAPS INSPECTION AT THE NUMBER INDICATED ON THE PLANS BY THE AWW PLAN REVIEWER.
4. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED, OR SUBJECT TO DAMAGE/NOCONVENIENCE BY THE CONSTRUCTION OPERATIONS. THE CITY OF AUSTIN WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.O.W./EASEMENT LINES.
5. NO OTHER UTILITY SERVICE/APPOINTMENTS SHALL BE PLACED NEAR THE PROPERTY LINE, OR OTHER ASSIGNED LOCATION DESIGNATED FOR WATER AND WASTEWATER UTILITY SERVICE THAT WOULD INTERFERE WITH THE WATER AND WASTEWATER SERVICES.
6. THE CITY SPECIFICATION ITEM 5095 WILL BE REQUIRED AS A MINIMUM TRENCH SAFETY MEASURE.
7. ALL MATERIALS TESTS, INCLUDING SOIL DENSITY TESTS AND DETAILED SOIL ANALYSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE OWNER IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 18045.04.
8. PRESSURE TAPS SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 510.3(24). THE CONTRACTOR SHALL PERFORM EXCAVATION ETC. AND SHALL FURNISH, INSTALL AND AIR TEST THE SLEEVE AND VALVE. WHEN CONTRACTORS MAKE THE TAP A CITY INSPECTOR MUST BE PRESENT AND 2 WORKING DAYS (MIN.) NOTICE MUST BE GIVEN. "SIZE ON SIZE" TAPS WILL NOT BE PERMITTED, UNLESS, IT HAS BEEN DEMONSTRATED THAT A MORE ACCEPTABLE CONNECTION WOULD INVOLVE CONSIDERABLE HARDSHIP TO THE UTILITY SYSTEM. ALL TAPS SHALL BE MADE BY USE OF AN APPROVED FULL GRADE-CASKETED CAST IRON OR DUCTILE IRON TAPPING SLEEVE CONCRETE BLOCKING SHALL BE PLACED UNDER ALL TAP SLEEVES PRIOR TO MAKING THE PRESSURE TAP AND THE USE OF PRECAST BLOCKS MAY BE USED TO HOLD THE TAP IN ITS CORRECT POSITION PRIOR TO BLOCKING. THE BLOCKING BEHIND AND UNDER THE TAP SHALL HAVE A MINIMUM OF 24 HOURS CURING TIME BEFORE THE VALVE CAN BE RE-OPENED FOR SERVICE FROM THAT TAP.
9. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 510.3 (22).
10. ALL BRANCH CONNECTIONS SHALL HAVE THE VALVE BOLTED TO THE MAIN BY METHODS OF FLANGE OR SWIVEL TEES. FOSTER ADAPTERS MAY BE USED IN LIEU OF FLANGE OR SWIVEL TEES WHEN CALLED OUT ON THE PLANS BY THE DESIGN ENGINEER.
11. A). FIRE HYDRANTS SHALL BE SET IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 5115.4 B). FIRE HYDRANTS SHALL BE PAINTED FLINT ALUMINUM OR EQUAL.
12. WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEMS 510.3 (27)-(29). FORCE MAIN PRESSURE TESTING SHALL BE CONDUCTED AND FALL UNDER THE SPECIFICATIONS AS WATER LINES (PRESSURE PIPE) OR AT THE PRESSURES SHOWN ON THE APPROVED PLANS.
13. ALL MATERIAL USED ON THIS PROJECT MUST BE LISTED ON THE STANDARD PRODUCTS LISTING. ANY MATERIAL NOT LISTED HAS TO GO THROUGH THE REVIEW OF THE STANDARDS COMMITTEE FOR REVIEW AND APPROVAL PRIOR TO START OF PROJECT. TESTING AND EVALUATION OF PRODUCTS ARE REQUIRED BEFORE APPROVAL. BE GIVEN ANY CONSIDERATION.
14. WHEN WATER SERVICES ARE DAMAGED AND THE SERVICE MATERIAL IS PE, THE LINE SHALL BE REPAIRED ONLY BY HEAT FUSION WELD OR REPLACED THE FULL LENGTH WITH TYPE K COPPER MATERIAL. ANY TIME THE PIPE IS DAMAGED OR TAMPED WITH IN ANY WAY, THE SERVICE LINE SHALL BE REPLACED FULL LENGTH WITH TYPE K COPPER MATERIAL. NOTE: FULL LENGTH IS FROM CORPORATION STOP TO METER.
15. WHEN AN EXISTING WATERLINE SHUT OUT IS NECESSARY AND POSSIBLE, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR WHO WILL THEN NOTIFY THE AUSTIN WATER UTILITY DISPATCH AND THE AFFECTED CUSTOMERS A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE.
16. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR SO THAT HE CAN NOTIFY THE AUSTIN WATER UTILITY AT 972-0000 AT A MINIMUM OF 72 HOURS PRIOR TO RELOCATING ANY DOMESTIC OR FIRE DEMAND WATER METERS. THE CONTRACTOR SHALL CAREFULLY REMOVE ALL METERS AND METERS BOXES THAT ARE INDICATED TO BE RELOCATED OR SALVAGED. THE CONTRACTOR SHALL INSTALL THE REMOVED METER OR CITY PROVIDED METER AT THE NEW LOCATION INDICATED ON THE CONSTRUCTION PLANS.
17. ALL MANHOLES IN UNPAVED AREAS PROVIDING DIRECT ACCESS TO A WASTEWATER LINE SHALL BE WATERTIGHT AND BEAR THE WORKING AND INSIGNIA FOR THE CITY OF AUSTIN.
18. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES PRIOR TO STARTING ONSITE UTILITY WORK.
19. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN DOES NOT REMOVE THESE RESPONSIBILITIES.

- 20. REVIEW BY THE AUSTIN WATER UTILITY APPLIES ONLY TO FACILITIES WITHIN PUBLIC STREETS OR PUBLIC UTILITY EASEMENTS. ALL OTHER WATER AND WASTEWATER FACILITIES INSIDE PRIVATE PROPERTY ARE UNDER THE JURISDICTION OF BUILDING INSPECTION.
21. ALL WATER AND WASTEWATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE SEPARATION DISTANCES INDICATED IN CHAPTER 290 - DRINKING WATER STANDARDS, AND CHAPTER 217 - DESIGN CRITERIA FOR SEWERAGE SYSTEMS, OF TCEC RULES.
22. CONTRACTOR'S PERSONNEL THAT PERFORM BUTT FUSION AND ELECTROFUSION ON OR TO PIPE WORK AND FITTINGS MUST HAVE CURRENT QUALIFICATION TRAINING CERTIFICATE ISSUED BY MCELROY OR COMPARABLE TRAINING PROGRAM.
23. SHOP DRAWINGS SHALL BE SUBMITTED FOR AWW APPROVAL FOR LARGE DIAMETER PRE-CAST MANHOLES, JUNCTION BOXES, WET WELLS, AND SIMILAR STRUCTURES. THE SHOP DRAWINGS SHALL INCLUDE FLOWLINE ELEVATIONS OF ALL INCOMING AND OUTGOING PIPES; ELEVATION OF TRANSITION FROM LARGE DIAMETER SECTIONS TO 48" ID SECTION, TOP OF MANHOLE ELEVATION, SURROUNDING GROUND ELEVATION, AS WELL AS SPECIAL CONSTRUCTION CONSIDERATIONS THAT ARE SPECIFIED IN THE CONTRACT DRAWINGS.
24. VALVE STEM EXTENSIONS SHALL CONSIST OF A SINGLE PIECE OF IRON ROD OF THE REQUIRED LENGTH WITH A SOCKET ON ONE END AND NUT ON THE OTHER.
25. ASBESTOS CONCRETE PIPE (AC PIPE) HAS BEEN INSTALLED IN THE PAST AS PART OF AUSTIN WATER UTILITIES WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS. AUSTIN WATER UTILITIES INFRASTRUCTURE INCLUDES AC PIPE THAT IS CURRENTLY IN SERVICE AS WELL AS AC PIPE THAT HAS BEEN ABANDONED AND IS NO LONGER IN SERVICE. RECORD INFORMATION MAY NOT BE COMPLETE IN YOUR PROJECT AREA. CONTRACTORS AND SUBCONTRACTORS MUST BE ALERT TO THE PRESENCE OF AC PIPE AND BE KNOWLEDGEABLE OF HOW TO IDENTIFY IT. DISTURBANCE, REMOVAL OR CUTTING OF ASBESTOS CONTAINING PIPE IS TO BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE 25, SECTION 15, ARTICLE 4477-3A AND 29 CFR 1926.1101. REFERENCE STANDARD SPECIFICATION SECTION 0101. CONTACT THE CITY OF AUSTIN ASBESTOS MANAGER AT 512-974-7154 THIRTY (30) DAYS PRIOR TO THE PLANNED DISTURBANCE OF THE AC PIPE. ONLY LICENSED PERSONNEL ARE PERMITTED TO DISTURB, REMOVE, TRANSPORT AND DISPOSE OF AC PIPE.

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS, TREE/NATURAL AREA PROTECTIVE FENCING, AND CONDUCT "PRE-CONSTRUCTION" TREE FERTILIZATION (IF APPLICABLE) PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
2. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE ENVIRONMENTAL CRITERIA MANUAL AND THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. THE COA ESC PLAN SHALL BE CONSULTED AND USED AS THE BASIS FOR A TYPES REQUIRED SWPPP. IF A SWPPP IS REQUIRED, IT SHALL BE AVAILABLE FOR REVIEW BY THE CITY OF AUSTIN ENVIRONMENTAL INSPECTOR AT ALL TIMES DURING CONSTRUCTION, INCLUDING AT THE PRE-CONSTRUCTION MEETING. THE CHECKLIST BELOW CONTAINS THE BASIC ELEMENTS THAT SHALL BE REVIEWED FOR PERMIT APPROVAL BY COA EV PLAN REVIEWERS AS WELL AS COA EV INSPECTORS.
3. THE PLACEMENT OF TREE/NATURAL AREA PROTECTIVE FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION AND THE APPROVED GRADING/TREE AND NATURAL AREA PLAN.
4. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND ENVIRONMENTAL INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS, TREE/NATURAL AREA PROTECTIVE MEASURES AND "PRE-CONSTRUCTION" TREE FERTILIZATION (IF APPLICABLE) PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE OWNER OR OWNER'S REPRESENTATIVE SHALL NOTIFY THE DEVELOPMENT SERVICES DEPARTMENT, 512-974-2278 OR BY EMAIL AT ENVIRONMENTALINSPECTIONS@AUSTINTEXAS.GOV, AT LEAST THREE DAYS PRIOR TO THE MEETING DATE. COA APPROVED ESC PLAN AND TYPES SWPPP (IF REQUIRED) SHOULD BE REVIEWED BY COA EV INSPECTOR AT THIS TIME.
5. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST OR CITY ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE AUTHORIZED BY AUTHORIZED COA STAFF. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
6. THE CONTRACTOR IS REQUIRED TO PROVIDE A CERTIFIED INSPECTOR THAT IS EITHER A LICENSED ENGINEER (OR PERSON DIRECTLY SUPERVISED BY THE LICENSED ENGINEER) OR CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC OR CPESC - IT), CERTIFIED EROSION, SEDIMENT AND STORMWATER - INSPECTOR (CESSM OR CESSM - IT) OR CERTIFIED INSPECTOR OF SEDIMENTATION AND EROSION CONTROLS (CISEC OR CISEC - IT) CERTIFICATION TO INSPECT THE CONTROLS AND FENCES AT WEEKLY OR BI-WEEKLY INTERVALS AND AFTER ONE-HALF (1/2) INCH OR GREATER RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES OR ONE-THIRD (1/3) OF THE INSTALLED HEIGHT OF THE CONTROL WHICHEVER IS LESS.
7. PRIOR TO FINAL ACCEPTANCE BY THE CITY, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF IN APPROVED SPILL DISPOSAL SITES.
8. ALL WORK MUST STOP IF A VOID IN THE ROCK SUBSTRATE IS DISCOVERED WHICH IS: ONE SQUARE FOOT IN TOTAL AREA; BLOWS AIR FROM WITHIN THE SUBSTRATE AND/OR CONSISTENTLY RECEIVES WATER DURING ANY RAIN EVENT. AT THIS TIME IT IS THE RESPONSIBILITY OF THE PROJECT MANAGER TO IMMEDIATELY CONTACT A CITY OF AUSTIN ENVIRONMENTAL INSPECTOR FOR FURTHER INVESTIGATION.
9. TEMPORARY AND PERMANENT EROSION CONTROL: ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW:
A. ALL DISTURBED AREAS TO BE REVEGETATED ARE REQUIRED TO PLACE A MINIMUM OF SIX (6) INCHES OF TOPSOIL [SEE STANDARD SPECIFICATION ITEM NO. 6015.3(A)]. DO NOT ADD TOPSOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
* TOPSOIL SALVAGED FROM THE EXISTING SITE IS ENCOURAGED FOR USE, BUT IT SHOULD MEET THE STANDARDS SET FORTH IN 6015.
B. AN OWNER/ENGINEER MAY PROPOSE USE OF ONSITE SALVAGED TOPSOIL WHICH DOES NOT MEET THE CRITERIA OF STANDARD SPECIFICATION 6015 BY PROVIDING A SOIL ANALYSIS AND A WRITTEN STATEMENT FROM A QUALIFIED PROFESSIONAL IN SOILS, LANDSCAPE ARCHITECTURE, OR AGRONOMY INDICATING THE ONSITE TOPSOIL WILL PROVIDE AN EQUIVALENT GROWTH MEDIA AND SPECIFYING WHAT, IF ANY, SOIL AMENDMENTS ARE REQUIRED.
* SOIL AMENDMENTS SHALL BE WORKED INTO THE EXISTING ONSITE TOPSOIL WITH A DISC OR TILLER TO CREATE A WELL-BLENDED MATERIAL.
THE VEGETATIVE STABILIZATION OF AREAS DISTURBED BY CONSTRUCTION SHALL BE AS FOLLOWS:

TEMPORARY VEGETATIVE STABILIZATION

- 1. FROM SEPTEMBER 15 TO MARCH 1, SEEDING SHALL BE WITH OR INCLUDE A COOL SEASON COVER CROP: (WESTERN WHEATGRASS (PASCOPYRUM SMITHII) AT 8.8 POUNDS PER ACRE, OATS (Avena SATIVA) AT 4.0 POUNDS PER ACRE, CEREAL RYE GRASS (SECALE PERSENA) AT 45 POUNDS PER ACRE. CONTRACTOR MUST ENSURE THAT ANY SEED APPLICATION REQUIRING A COOL SEASON COVER CROP DOES NOT UTILIZE ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) OR PERENNIAL RYEGRASS (LOLIUM PERENNE). COOL SEASON COVER CROPS ARE NOT PERMANENT EROSION CONTROL.
2. FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH HULLED BERMOUDA AT A RATE OF 45 POUNDS PER ACRE OR A NATIVE PLANT SEED MIX CONFORMING TO ITEM 6045 OR 6095.
A. FERTILIZER SHALL BE APPLIED ONLY IF WARRANTED BY A SOIL TEST AND SHALL CONFORM TO ITEM NO. 6065. FERTILIZER APPLICATION SHOULD NOT OCCUR WHEN RAINFALL IS EXPECTED OR DURING SLOW PLANT GROWTH OR DORMANCY. CHEMICAL FERTILIZER MAY NOT BE APPLIED IN THE CRITICAL WATER QUALITY ZONE.
B. HYDROMULCH SHALL COMPLY WITH TABLE 1, BELOW.
C. TEMPORARY EROSION CONTROL SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1 1/2 INCHES HIGH WITH A MINIMUM OF 95% TOTAL COVERAGE SO THAT ALL AREAS OF A SITE THAT RELY ON VEGETATION FOR TEMPORARY STABILIZATION ARE UNIFORMLY VEGETATED, AND PROVIDED THERE ARE NO BARE SPOTS LARGER THAN 10 SQUARE FEET.
D. WHEN REQUIRED, NATIVE PLANT SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL AND STANDARD SPECIFICATION 6045 OR 6095.

Table with 5 columns: MATERIAL, DESCRIPTION, LONGEVITY, TYPICAL APPLICATIONS, APPLICATION RATES. Row 1: 100X OR ANY BLEND OF WOOD, CELLULOSE, STRAW AND/OR COTTON PLANT MATERIAL (EXCEPT NO MULCH PAPER OR NATURAL FIBERS), 0-3 MONTHS, MODERATE SLOPES; FROM FLOPS TO 3:1, 1,500 TO 2,000 LBS PER ACRE.

PERMANENT VEGETATIVE STABILIZATION

- 1. FROM SEPTEMBER 15 TO MARCH 1, SEEDING IS CONSIDERED TO BE TEMPORARY STABILIZATION ONLY. IF COOL SEASON COVER CROPS EXIST WHERE PERMANENT VEGETATIVE STABILIZATION IS DESIRED, THE GRASSES SHALL BE MOVED TO A HEIGHT OF LESS THAN ONE-HALF (1/2) INCH AND THE AREA SHALL BE RE-SEED IN ACCORDANCE WITH TABLE 2 BELOW. ALTERNATIVELY, THE COOL SEASON COVER CROP CAN BE MIXED WITH BERMOUDA GRASS OR NATIVE SEED AND INSTALLED TOGETHER, UNDERSTANDING THAT GERMINATION OF WARM-SEASON SEED TYPICALLY REQUIRES SOIL TEMPERATURES OF 60 TO 70 DEGREES.
2. FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH HULLED BERMOUDA AT A RATE OF 45 POUNDS PER ACRE WITH A PURITY OF 95% OR GREATER. THE SEEDING OF OATS, BERMUDA GRASS IS A WARM SEASON GRASS AND IS CONSIDERED PERMANENT EROSION CONTROL. PERMANENT VEGETATIVE STABILIZATION CAN ALSO BE ACCOMPLISHED WITH A NATIVE PLANT SEED MIX CONFORMING TO ITEM 6045 OR 6095.

- A. FERTILIZER USE SHALL FOLLOW THE RECOMMENDATION OF A SOIL TEST. SEE ITEM 6065, FERTILIZER. APPLICATIONS OF FERTILIZER (AND PESTICIDES) ON CITY-OWNED AND MANAGED PROPERTY REQUIRES THE YEARLY SUBMITTAL OF A PESTICIDE AND FERTILIZER APPLICATION RECORD, ALONG WITH A CURRENT COPY OF THE APPLICATOR'S LICENSE. FOR CURRENT COPY OF THE RECORD TEMPLATE CONTACT THE CITY OF AUSTIN'S IPM COORDINATOR.
B. HYDROMULCH SHALL COMPLY WITH TABLE 2, BELOW.
C. WATER THE SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO ACHIEVE GERMINATION AND A HEALTHY STAND OF PLANTS THAT CAN ULTIMATELY SURVIVE WITHOUT SUPPLEMENTAL WATER. APPLY THE WATER UNIFORMLY TO THE PLANTED AREAS WITHOUT CAUSING DISPLACEMENT OR EROSION OF THE MATERIALS OR SOIL. MAINTAIN THE SEEDBED IN A MOST CONDITION FAVORABLE FOR PLANT GROWTH. ALL WATERING SHALL COMPLY WITH CITY CODE CHAPTER 6-4 (WATER CONSERVATION), AT RATES AND FREQUENCIES DETERMINED BY A LICENSED IRRIGATOR OR OTHER QUALIFIED PROFESSIONAL, AND AS ALLOWED BY THE AUSTIN WATER UTILITY AND CURRENT WATER RESTRICTIONS AND WATER CONSERVATION INITIATIVES.
D. PERMANENT EROSION CONTROL SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1 1/2 INCHES HIGH WITH A MINIMUM OF 95 PERCENT FOR THE NON-NATIVE MIX, AND 95 PERCENT COVERAGE FOR THE NATIVE MIX SO THAT ALL AREAS OF A SITE THAT RELY ON VEGETATION FOR STABILITY MUST BE UNIFORMLY VEGETATED, AND PROVIDED THERE ARE NO BARE SPOTS LARGER THAN 10 SQUARE FEET.
E. WHEN REQUIRED, NATIVE PLANT SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL, ITEMS 6045 AND 6095.

Table with 5 columns: MATERIAL, DESCRIPTION, LONGEVITY, TYPICAL APPLICATIONS, APPLICATION RATES. Row 1: BONDED FIBER MATRIX (BFM), 80% ORGANIC DEFIBRATED FIBERS, 6 MONTHS, ON SLOPES UP TO 2:1 AND ERODIVE SOIL CONDITIONS, 2,500 TO 4,000 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS). Row 2: 10X TACKIFIER, 65% ORGANIC DEFIBRATED FIBERS, 25% REINFORCING FIBERS OR LESS 10X TACKIFIER, UP TO 12 MONTHS, ON SLOPES UP TO 1:1 AND ERODIVE SOIL CONDITIONS, 3,000 TO 4,500 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS).

- 10. DEVELOPER INFORMATION: OWNER: CITY OF AUSTIN PARKS AND RECREATION DEPARTMENT. PHONE # (512) 974-6700. ADDRESS: 200 S. LAMAR BOULEVARD, AUSTIN, TEXAS 78704. OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS: PHONE #. PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE: PHONE #. PERSON OR FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE: PHONE #.
11. THE CONTRACTOR SHALL NOT DISPOSE OF SURPLUS EXCAVATED MATERIAL FROM THE SITE WITHOUT NOTIFYING THE DEVELOPMENT SERVICES DEPARTMENT AT 512-974-2278 AT LEAST 48 HOURS PRIOR WITH THE LOCATION AND A COPY OF THE PERMIT ISSUED TO RECEIVE THE MATERIAL.

SEQUENCE OF CONSTRUCTION NOTES

- 1. TEMPORARY EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED AS INDICATED ON THE APPROVED SITE PLAN OR SUBDIVISION CONSTRUCTION PLAN AND IN ACCORDANCE WITH THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON THE SITE. INSTALL TREE PROTECTION, INITIATE TREE MITIGATION MEASURES AND CONDUCT "PRE - CONSTRUCTION" TREE FERTILIZATION (IF APPLICABLE).
2. THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR MUST CONTACT THE DEVELOPMENT SERVICES DEPARTMENT, ENVIRONMENTAL INSPECTION, AT 512-974-2278, 72 HOURS PRIOR TO THE SCHEDULED DATE OF THE REQUIRED ON-SITE PRECONSTRUCTION MEETING.
3. THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE REVISED, IF NEEDED, TO COMPLY WITH CITY INSPECTORS' DIRECTIVES, AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN REQUIREMENTS AND THE EROSION PLAN.
4. ROUGH GRADE THE POND(S) AT 100% PROPOSED CAPACITY. EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUST BE CONSTRUCTED PRIOR TO DEVELOPMENT OF EMBANKMENT OR EXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A SOUP PIT OUTLET AND AN EGRESSIVE SPILLWAY MEETING THE REQUIREMENTS OF THE DRAINAGE CRITERIA MANUAL AND/OR THE ENVIRONMENTAL CRITERIA MANUAL, AS REQUIRED. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL INSTALLATION OF THE PERMANENT WATER QUALITY POND(S).
5. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE EROSION SEDIMENTATION CONTROL PLAN (ESC) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.
6. BEGIN SITE CLEARING/CONSTRUCTION (OR DEMOLITION) ACTIVITIES.
7. IN THE BARTON SPRINGS ZONE, THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR WILL SCHEDULE A MID-CONSTRUCTION CONFERENCE TO COORDINATE CHANGES IN THE CONSTRUCTION SCHEDULE AND EVALUATE EFFECTIVENESS OF THE EROSION CONTROL PLAN AFTER POSSIBLE CONSTRUCTION ALTERATIONS TO THE SITE. PARTICIPANTS SHALL INCLUDE THE CITY INSPECTOR, PROJECT ENGINEER, GENERAL CONTRACTOR AND ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR. THE ANTICIPATED COMPLETION DATE AND FINAL CONSTRUCTION SEQUENCE AND INSPECTION SCHEDULE WILL BE COORDINATED WITH THE APPROPRIATE CITY INSPECTOR.
8. PERMANENT WATER QUALITY PONDS OR CONTROLS WILL BE CLEANED OUT AND FILTER MEDIA WILL BE INSTALLED PRIOR TO/CONCURRENTLY WITH REVEGETATION OF SITE.
9. COMPLETE CONSTRUCTION AND START REVEGETATION OF THE SITE AND INSTALLATION OF LANDSCAPING.
10. UPON COMPLETION OF THE SITE CONSTRUCTION AND REVEGETATION OF A PROJECT SITE, THE DESIGN ENGINEER SHALL SUBMIT AN ENGINEER'S LETTER OF CONCURRENCE BEARING THE ENGINEER'S SEAL, SIGNATURE, AND DATE TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT CONSTRUCTION OF THE PROJECT IS COMPLETE AND IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
11. UPON COMPLETION OF LANDSCAPE INSTALLATION OF A PROJECT SITE, THE LANDSCAPE ARCHITECT SHALL SUBMIT A LETTER OF CONCURRENCE TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT THE REQUIRED LANDSCAPING IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
12. AFTER A FINAL INSPECTION HAS BEEN CONDUCTED BY THE CITY INSPECTOR AND WITH APPROVAL FROM THE CITY INSPECTOR, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND COMPLETE ANY NECESSARY FINAL REVEGETATION RESULTING FROM REMOVAL OF THE CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE WATER QUALITY PONDS OR CONTROLS.

REMEDIAL TREE CARE NOTES AERATION AND SUPPLEMENTAL NUTRIENT REQUIREMENTS FOR TREES WITHIN CONSTRUCTION AREAS

AS A COMPONENT OF AN EFFECTIVE REMEDIAL TREE CARE PROGRAM PER ENVIRONMENTAL CRITERIA MANUAL SECTION 3.5.4, PRESERVED TREES WITHIN THE LIMITS OF CONSTRUCTION MAY REQUIRE SOIL AERATION AND SUPPLEMENTAL NUTRIENTS. SOIL AND/OR FOLIAR ANALYSES SHOULD BE USED TO DETERMINE THE NEED FOR SUPPLEMENTAL NUTRIENTS. THE CITY ARBORIST MAY REQUIRE THESE ANALYSES AS PART OF A COMPREHENSIVE TREE CARE PLAN. SOIL PH SHALL BE CONSIDERED WHEN DETERMINING THE FERTILIZATION COMPOSITION AS SOIL PH INFLUENCES THE TREE'S ABILITY TO UPTAKE NUTRIENTS FROM THE SOIL. IF ANALYSES INDICATE THE NEED FOR SUPPLEMENTAL NUTRIENTS, THEN HUMATE/NUTRIENT SOLUTIONS WITH MYCORRHIZAE COMPONENTS ARE HIGHLY RECOMMENDED. IN ADDITION, SOIL ANALYSES MAY BE NEEDED TO DETERMINE IF ORGANIC MATERIAL OR BENEFICIAL MICROORGANISMS ARE NEEDED TO IMPROVE SOIL HEALTH. MATERIALS AND METHODS ARE TO BE APPROVED BY THE CITY ARBORIST (512-974-1876) PRIOR TO APPLICATION. THE OWNER OR GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND ENSURE COORDINATION WITH THE CITY ARBORIST.
PRE-CONSTRUCTION TREATMENT SHOULD BE APPLIED IN THE APPROPRIATE SEASON, IDEALLY THE SEASON PRECEDING THE PROPOSED CONSTRUCTION. MINIMALLY, AREAS TO BE TREATED INCLUDE THE ENTIRE CRITICAL ROOT ZONE OF TREES AS DESIGNATED ON THE CITY APPROVED PLANS. TREATMENT SHOULD INCLUDE, BUT NOT LIMITED TO, FERTILIZATION, SOIL TREATMENT, MULCHING, AND PROPER PRUNING.
POST-CONSTRUCTION TREATMENT SHOULD OCCUR DURING FINAL REVEGETATION OR AS DETERMINED BY A QUALIFIED ARBORIST AFTER CONSTRUCTION. CONSTRUCTION ACTIVITIES OFTEN RESULT IN A REDUCTION IN SOIL MACRO AND MICRO PORES AND AN INCREASE IN SOIL BULK DENSITY. TO AMELIORATE THE DEGRADED SOIL CONDITIONS, AERATION VIA WATER AND/OR AIR INJECTED INTO THE SOIL IS NEEDED OR BY OTHER METHODS AS APPROVED BY THE CITY ARBORIST. THE PROPOSED NUTRIENT MIX SPECIFICATIONS AND SOIL AND/OR FOLIAR ANALYSIS RESULTS NEED TO BE PROVIDED TO AND APPROVED BY THE CITY ARBORIST PRIOR TO APPLICATION (FAX # 512-974-3010). CONSTRUCTION WHICH WILL BE COMPLETED IN LESS THAN 90 DAYS MAY USE MATERIALS AT 1/2 RECOMMENDED RATES. ALTERNATIVE ORGANIC FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST. WITHIN 7 DAYS AFTER FERTILIZATION IS PERFORMED, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK TO THE CITY ARBORIST. PLANNING AND DEVELOPMENT REVIEW DEPARTMENT, P.O. BOX 1088, AUSTIN, TX 78767. THIS NOTE SHOULD BE REFERENCED AS ITEM #1 IN THE SEQUENCE OF CONSTRUCTION.
AMERICANS WITH DISABILITIES ACT
THE CITY OF AUSTIN HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH CITY DEVELOPMENT REGULATIONS ONLY. THE APPLICANT, PROPERTY OWNER, AND OCCUPANT OF THIS PREMISES ARE RESPONSIBLE FOR DETERMINING WHETHER THE PLAN COMPLIES WITH ALL OTHER LAWS, REGULATIONS, AND RESTRICTIONS WHICH MAY BE APPLICABLE TO THE PROPERTY AND ITS USE.

DRAINAGE NOTES

- 1. UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS, AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE DEVELOPMENT SERVICES DEPARTMENT, THE DESIGN ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DETENTION AND FILTRATION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS.
2. CONTRACTOR SHALL CALL TEXAS 811 (811 OR 1-800-344-8377) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.

SPECIAL CONSTRUCTION TECHNIQUES ECM 3.5.4(D)

PRIOR TO EXCAVATION WITHIN TREE DRIPLINES OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.

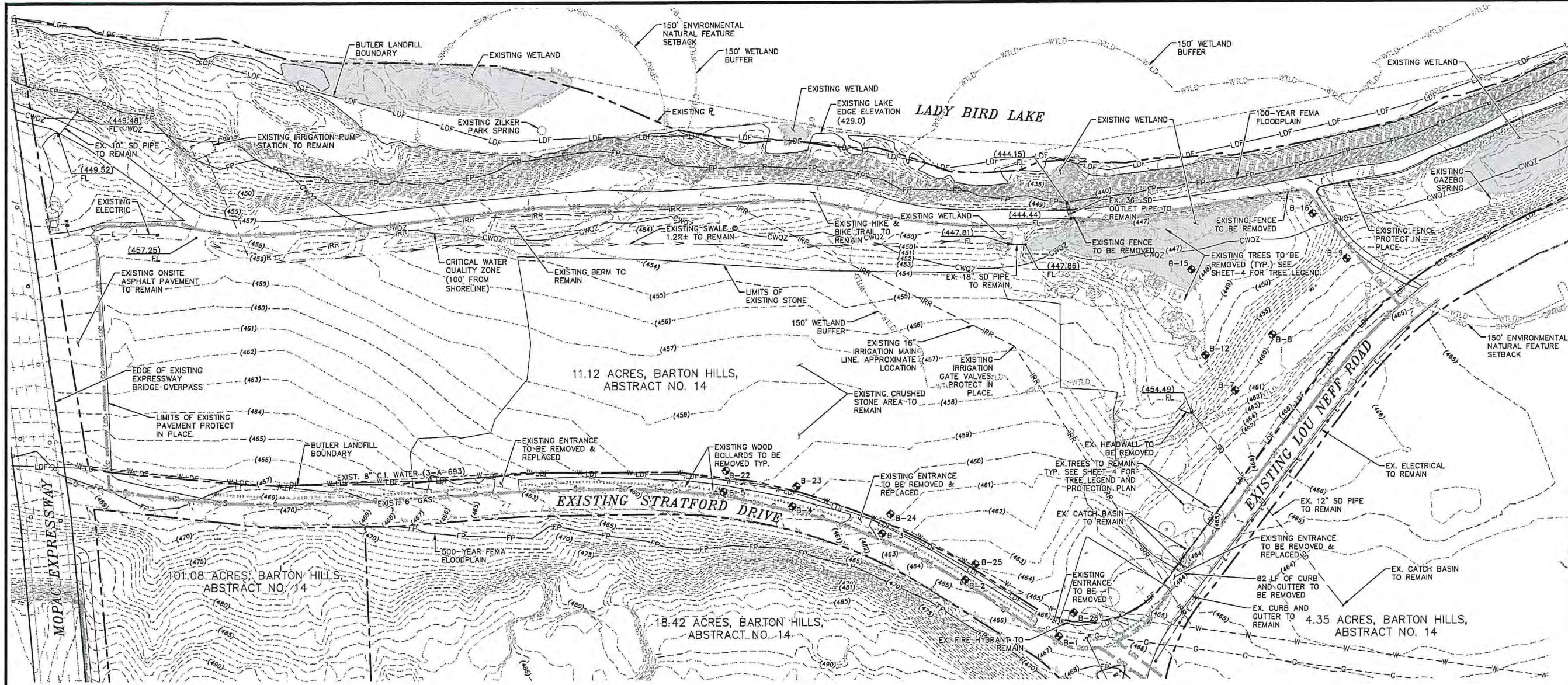
IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH A MINIMUM OF 12 INCHES OF CRIPPLE MULCH TO MINIMIZE SOIL COMPACTION. IN AREAS WITH HIGH SOIL PLASTICITY GEOTEXTILE FABRIC, PER STANDARD SPECIFICATION 6205, SHOULD BE PLACED UNDER THE MULCH TO PREVENT EXCESSIVE MIXING OF THE SOIL AND MULCH. ADDITIONALLY, MATERIAL SUCH AS PLYWOOD AND METAL SHEETS, COULD BE REQUIRED BY THE CITY ARBORIST TO MINIMIZE ROOT IMPACTS FROM HEAVY EQUIPMENT. ONCE THE PROJECT IS COMPLETED, ALL MATERIALS SHOULD BE REMOVED, AND THE MULCH SHOULD BE REDUCED TO A DEPTH OF 3 INCHES.

PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 2 of 21. FILE NUMBER: SP-XXXX-XXXXX. APPLICATION DATE: XX/XX/XX. APPROVED BY: [Signature]. UNDER SECTION: XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE. PROJECT EXPIRATION DATE (ORD #970905-A): DWP2_D02. Director, Development Review Department. RELEASE FOR GENERAL COMPLIANCE. Zoning: [Blank]. Rev. 1: [Blank] Correction 1. Rev. 2: [Blank] Correction 2. Rev. 3: [Blank] Correction 3. Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

ATKINS logo and contact information. ZILKER PARK AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS. GENERAL NOTES. SHEET NO. 2 OF 21 SHEETS. FILE NO. 53691-02-NOTE PROJECT NO. 100053691. DATE: JANUARY, 2018. REVISION: [Blank].



DESIGNED BY:	NAB/CEA
DRAWN BY:	JLC
CHECKED BY:	PAB/TPB
APPROVED BY:	SAS
DATE:	JANUARY, 2018
REVISION	NO.
BY	DATE

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: JANUARY, 2018

ATKINS
 1801 DOMINION BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 • (817) 377-6840
 TBP REG. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET NO. 3
 OF 21 SHEETS
 FILE NO. 53691-03-DEMO
 PROJECT NO. 100053691

BENCHMARK USED
 TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES, AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

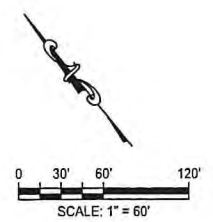
- LEGEND**
- PP EXISTING POWER POLE
 - EXISTING GUY WIRE
 - EXISTING GAS METER
 - EXISTING FIRE HYDRANT
 - WM ○ EXISTING WATER METER
 - ⊞ EXISTING ELECTRIC VAULT
 - IRSO ○ 5/8" IRON ROD SET W/ATKINS CAP
 - ⊕ EXISTING TREE TO REMAIN
 - ⊖ EXISTING TREE TO BE REMOVED
 - EXISTING EDGE OF ASPHALT
 - W- EXISTING WATER LINE
 - G- EXISTING GAS LINE
 - SD- EXISTING STORM DRAIN LINE
 - IRR- EXISTING IRRIGATION LINE
 - E- EXISTING ELECTRICAL
 - CWOZ- EXISTING WATER QUALITY ZONE
 - LDF- EXISTING LANDFILL BOUNDARY
 - FP- EXISTING FLOOD PLAIN
 - LOC- LIMITS OF CONSTRUCTION
 - WTL- EXISTING WETLANDS

BORING LOCATIONS

BORING NO.	DEPTH OF LANDFILL
B-1	N/A*
B-2	N/A*
B-3	N/A*
B-4	N/A*
B-5	N/A*
B-7	5.5
B-8	4
B-9	N/A*
B-12	5.5
B-15	5
B-16	4.5
B-22	5
B-23	5
B-24	6
B-25	3
B-26	N/A*

*NO LANDFILL FOUND

- NOTES**
- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
 - THIS SURVEY WAS COMPLETED ON THE GROUND FEBRUARY 13, 2017 BY ATKINS.
 - WITHIN PROJECT LIMITS, 100-YEAR FEMA FLOODPLAIN IS EQUIVALENT TO 100-YEAR CITY OF AUSTIN FULLY-DEVELOPED FLOODPLAIN.



THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

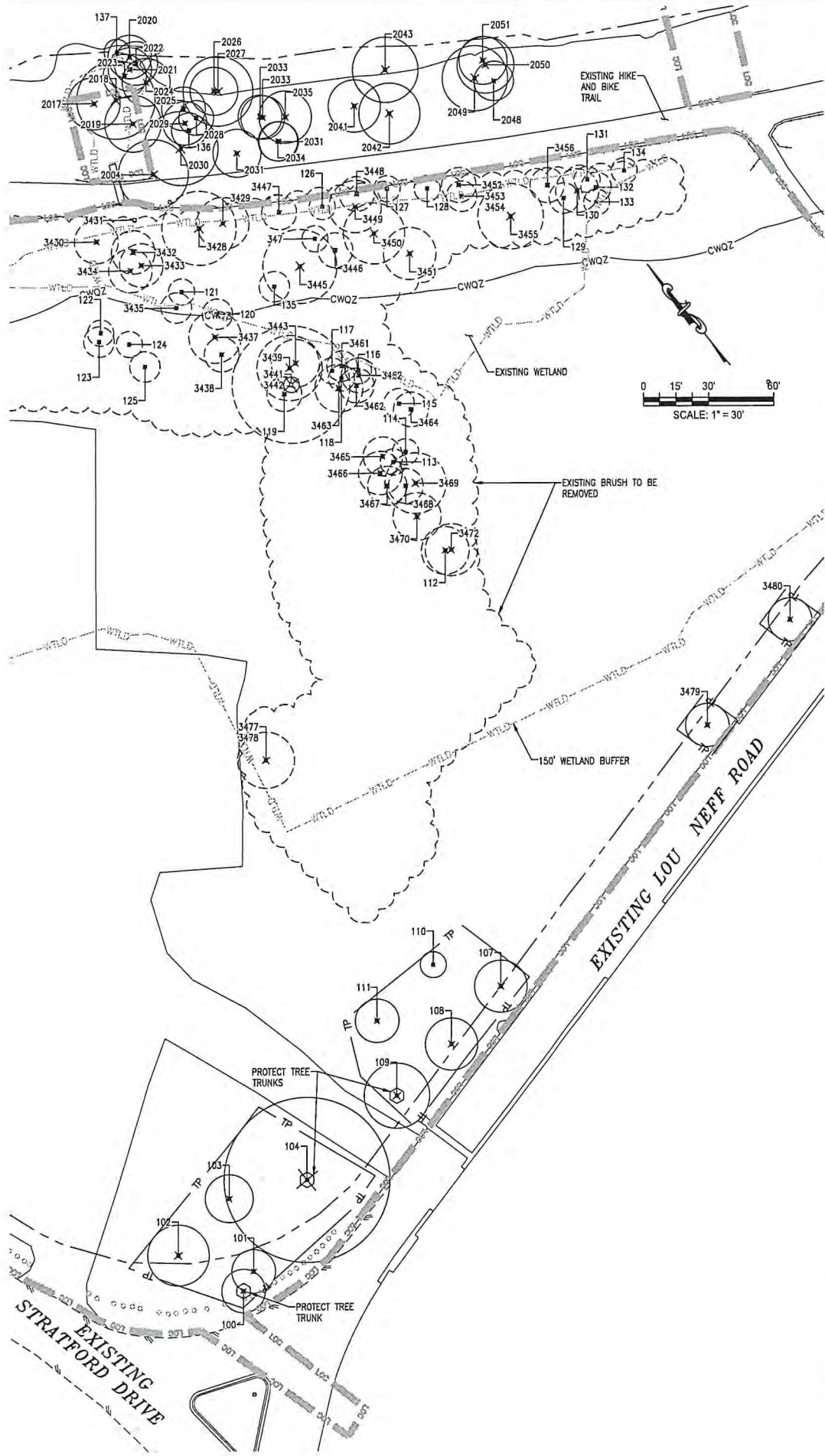
SITE PLAN APPROVAL Sheet 3 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-8-81, LDC) CASE MANAGER XXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD.#97905-A) DWPZ DOZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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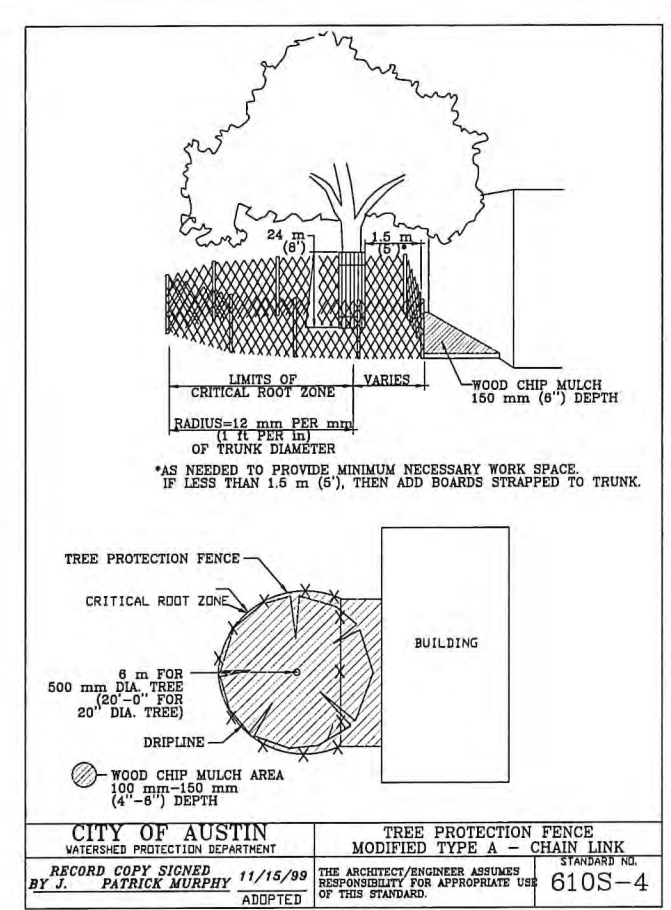
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TREE LEGEND			
TAG#	TREE TYPE	QUANTITY (#)	DIAMETER (INCHES)
100	HACKBERRY	1	10
101	ASH	1	10
102	ASH	1	14
103	ASH	1	11
104	HACKBERRY	1	10
3480	HACKBERRY	1	10
3479	HACKBERRY	1	10
107	HACKBERRY	1	12
108	HACKBERRY	1	12
109	HACKBERRY	1	10
110	HACKBERRY	1	10
111	HACKBERRY	2	6, 6
R 3477, 3478	HACKBERRY	3	9, 12, 13
R 3472	HACKBERRY	1	12
R 112	HACKBERRY	1	11
R 3470	HACKBERRY	1	11
R 3469	HACKBERRY	1	14
R 3468	HACKBERRY	1	6
R 3467	HACKBERRY	1	9
R 3466	HACKBERRY	1	10
R 3465	HACKBERRY	1	9
R 113	HACKBERRY	1	6
R 114	HACKBERRY	1	6
R 115	HACKBERRY	1	7
R 3464	HACKBERRY	1	8
R 3462	HACKBERRY	1	8
R 3462	HACKBERRY	2	6, 8
R 116	HACKBERRY	1	6
R 3461	HACKBERRY	1	7
R 117	HACKBERRY	1	6
R 118	HACKBERRY	1	6
R 3463	HACKBERRY	1	11
R 3443	HACKBERRY	1	11
R 3442, 3441	WILLOW	2	17, (2)
R 119	HACKBERRY	1	8
R 3439	HACKBERRY	1	15
R 3438	ASH	1	8
R 3436, 3437	ASH	2	9, 12
R 120	HACKBERRY	1	7
R 121	HACKBERRY	1	6
R 3435	HACKBERRY	1	7
R 3433	HACKBERRY	1	10
R 3434	HACKBERRY	2	9, 10
R 3432	ASH	1	10
R 122	HACKBERRY	1	6
R 123	HACKBERRY	2	6, 7
R 124	HACKBERRY	1	6
R 125	MESQUITE	1	7
R 3430	HACKBERRY	1	10
R 3431	ASH	1	12
R 3428	ASH	1	17
R 3429	ASH	2	6, 12
R 3447	HACKBERRY	1	8
R 126	HACKBERRY	1	6
R 3448	HACKBERRY	1	8
R 3449	ASH	1	12
R 127	HACKBERRY	1	6
R 128	HACKBERRY	1	6
R 3452	HACKBERRY	1	8
R 3453, 3454	HACKBERRY	2	7, 7
R 3455	ASH	1	15
R 3456	ASH	1	8
129	HACKBERRY	1	7
130	ASH	1	6
131	ASH	1	6
132	ASH	1	7
133	ASH	1	6
134	ASH	1	6
135	ASH	2	6, 7
3445	ASH	1	17
3446	ASH	1	8
347	ASH	1	6
3451	ASH	1	12
3450	ASH	1	14
2049	HACKBERRY	1	15
2050	HACKBERRY	1	13
2051	HACKBERRY	1	11
2048	HACKBERRY	1	9
2043	HACKBERRY	1	15
2042	HACKBERRY	1	14
2039, 2040, 2041	HACKBERRY	3	9, 10, 12
2034	HACKBERRY	1	9
2035	HACKBERRY	1	12

TREE LEGEND			
TAG#	TREE TYPE	QUANTITY (#)	DIAMETER (INCHES)
2027	ASH	1	16
2026	ASH	1	11
2031	HACKBERRY	1	11
2031	HACKBERRY	1	9
2033	HACKBERRY	1	10
2030	ASH	1	17
136	HACKBERRY	1	8
2029	ASH	1	11
2028	HACKBERRY	1	8
2025	ASH	1	10
2004	HACKBERRY	1	16
2019	HACKBERRY	1	13
2024	CYPRESS	1	11
2021	CYPRESS	1	20
2022	CYPRESS	1	10
2020	CYPRESS	1	10
137	CYPRESS	1	6
2023	ASH	1	17
2018	SYCAMORE	1	18
2017	CYPRESS	1	12

TREE REMOVAL REPLACEMENT		
DIAMETER (INCHES)	QUANTITY (#)	DIAMETER (INCHES)
6-8	31	210
9-18	25	290
19-23	0	0
24+	1	27



CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED 11/15/99
BY J. PATRICK MURPHY

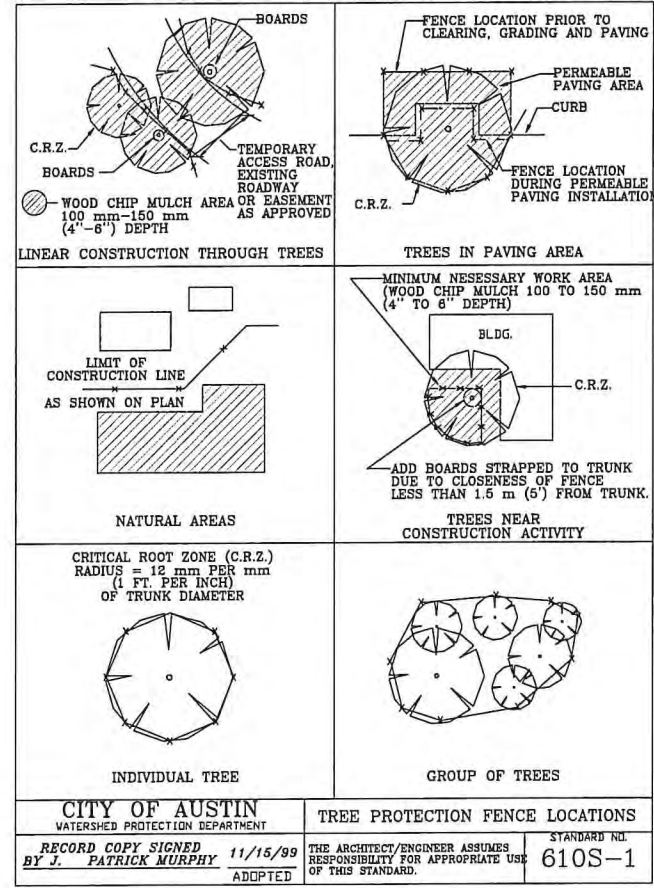
TREE PROTECTION FENCE
MODIFIED TYPE A - CHAIN LINK
STANDARD NO. 610S-4
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

NOTES

- EXISTING TREE SURVEY COMPLETED BY ATKINS ON FEBRUARY 13, 2017.
- SEE SHEET-12 FOR TREE PROTECTION NOTES.
- ALL TREES TO BE REMOVED ARE ON A CLOSED LANDFILL CAP. CONTRACTOR TO MINIMIZE DISTURBANCE OF THE CAP.
- TREES ARE TO BE CUT OFF AS LOW TO OR BELOW GROUND WITHOUT DISTURBING THE ROOT SYSTEM. ROOTS CAN BE LEFT AS IS. GRUBBING IS NOT REQUIRED.
- TREE TRUNK PROTECTION SHALL CONSIST OF ANY 2 x 4-INCH (50 x 100mm) OR 2 x 6-INCH (50 x 150 mm) PLANKING OR PLASTIC STRAPPING.

LEGEND

- (+) TREE TO BE SAVED
- (-) TREE TO BE REMOVED
- CWOZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WILD- EXISTING WETLANDS
- TP- TREE PROTECTION FENCE
- PROTECTED TREES TO BE REMOVED
- TRUNK PROTECTION (SEE NOTE-5 THIS SHEET)



DESIGNED BY: NAB/CEA
DRAWN BY: JLC
CHECKED BY: PAB/TPB
APPROVED BY: SAS
DATE: JANUARY, 2018

ATKINS
1800 DOMAIN BOULEVARD, SUITE 500
AUSTIN, TEXAS 78788 • (512) 327-8840
TBE REG. NO. F-474

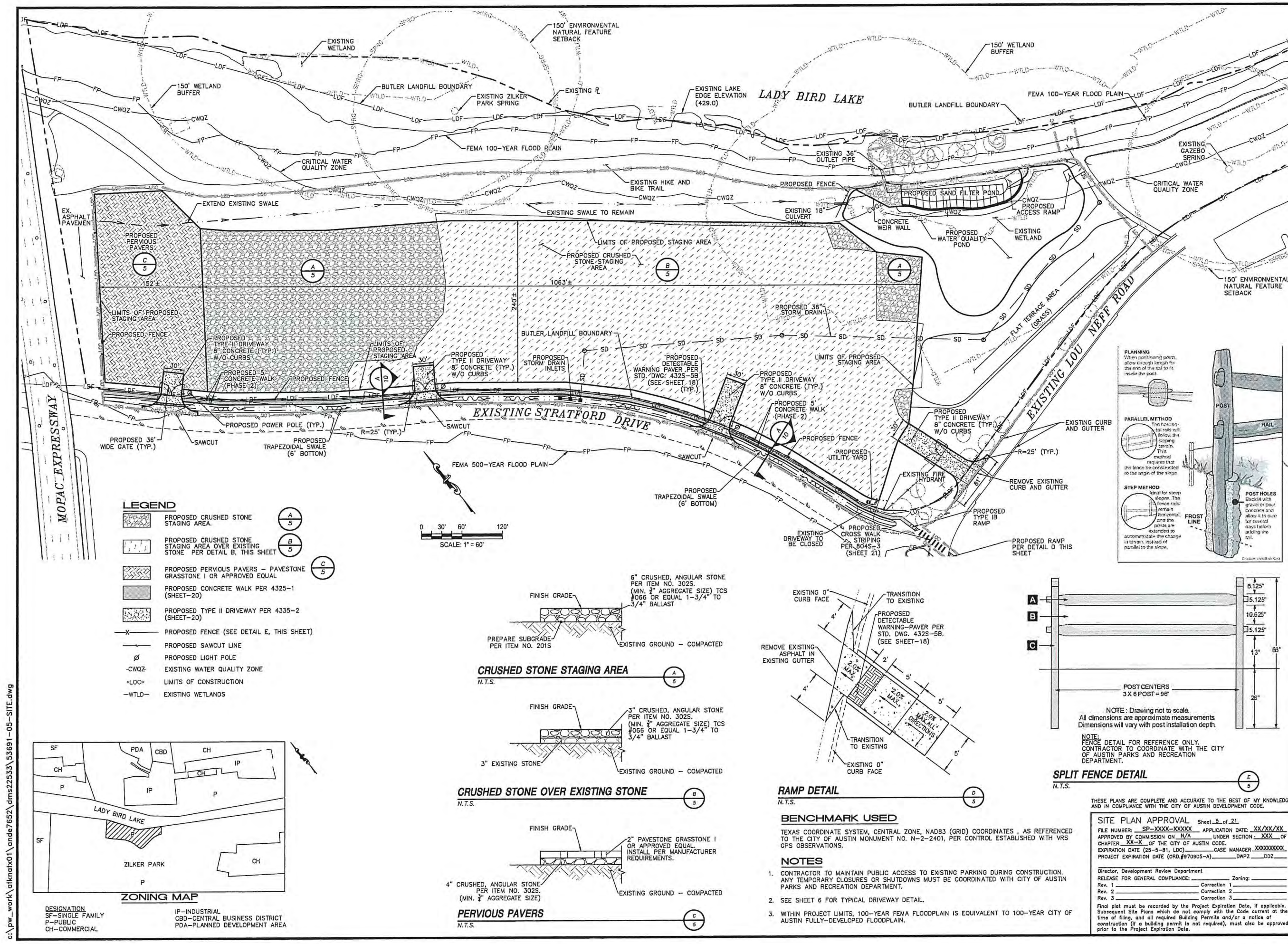
ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

TREE PROTECTION PLAN AND TREE LEGEND

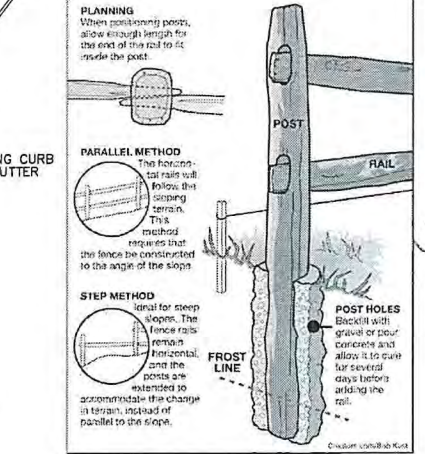
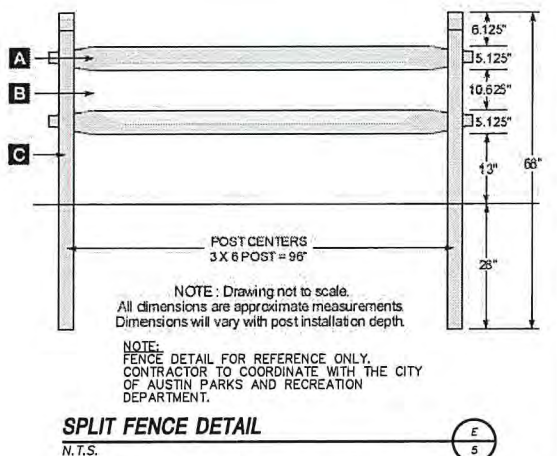
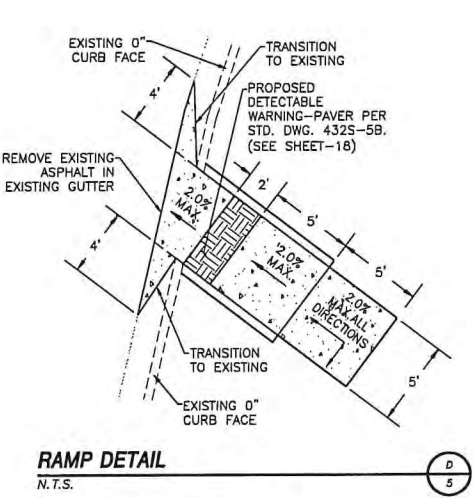
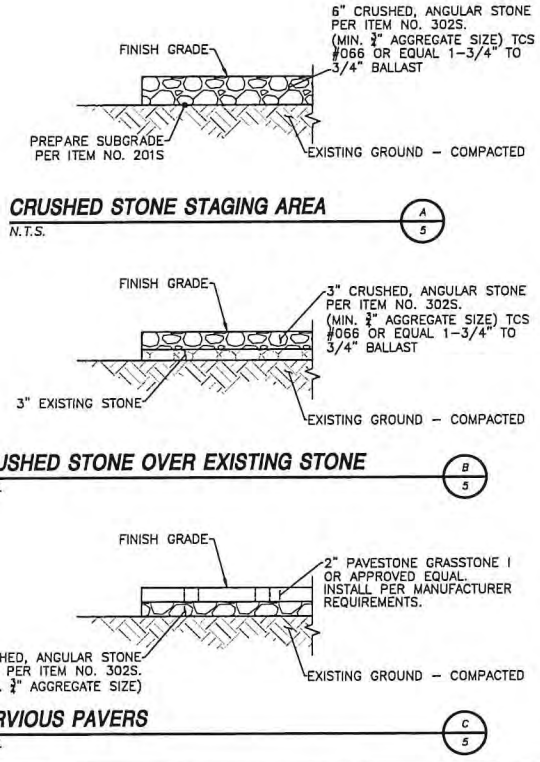
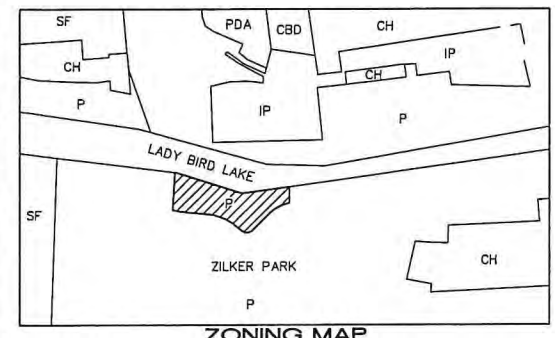
SHEET NO. 4 OF 21 SHEETS

FILE NO. 53691-04-TREE
PROJECT NO. 100053691

SP-XXXX-XXXX



- LEGEND**
- PROPOSED CRUSHED STONE STAGING AREA
 - PROPOSED CRUSHED STONE STAGING AREA OVER EXISTING STONE PER DETAIL B, THIS SHEET
 - PROPOSED PERVIOUS PAVERS - PAVESTONE GRASSTONE I OR APPROVED EQUAL
 - PROPOSED CONCRETE WALK PER 4325-1 (SHEET-20)
 - PROPOSED TYPE II DRIVEWAY PER 4335-2 (SHEET-20)
 - PROPOSED FENCE (SEE DETAIL E, THIS SHEET)
 - PROPOSED SAWCUT LINE
 - PROPOSED LIGHT POLE
 - CWQZ- EXISTING WATER QUALITY ZONE
 - LOC- LIMITS OF CONSTRUCTION
 - WILD- EXISTING WETLANDS



- NOTES**
- CONTRACTOR TO MAINTAIN PUBLIC ACCESS TO EXISTING PARKING DURING CONSTRUCTION. ANY TEMPORARY CLOSURES OR SHUTDOWNS MUST BE COORDINATED WITH CITY OF AUSTIN PARKS AND RECREATION DEPARTMENT.
 - SEE SHEET 6 FOR TYPICAL DRIVEWAY DETAIL.
 - WITHIN PROJECT LIMITS, 100-YEAR FEMA FLOODPLAIN IS EQUIVALENT TO 100-YEAR CITY OF AUSTIN FULLY-DEVELOPED FLOODPLAIN.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 5 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD #970805-A) DWPZ DOZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: JANUARY, 2018

ATKINS
 1801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (512) 327-8840
 TBE REG. NO. F-474

01/05/18

**ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS**

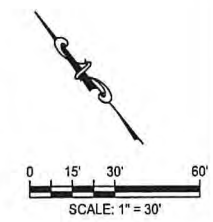
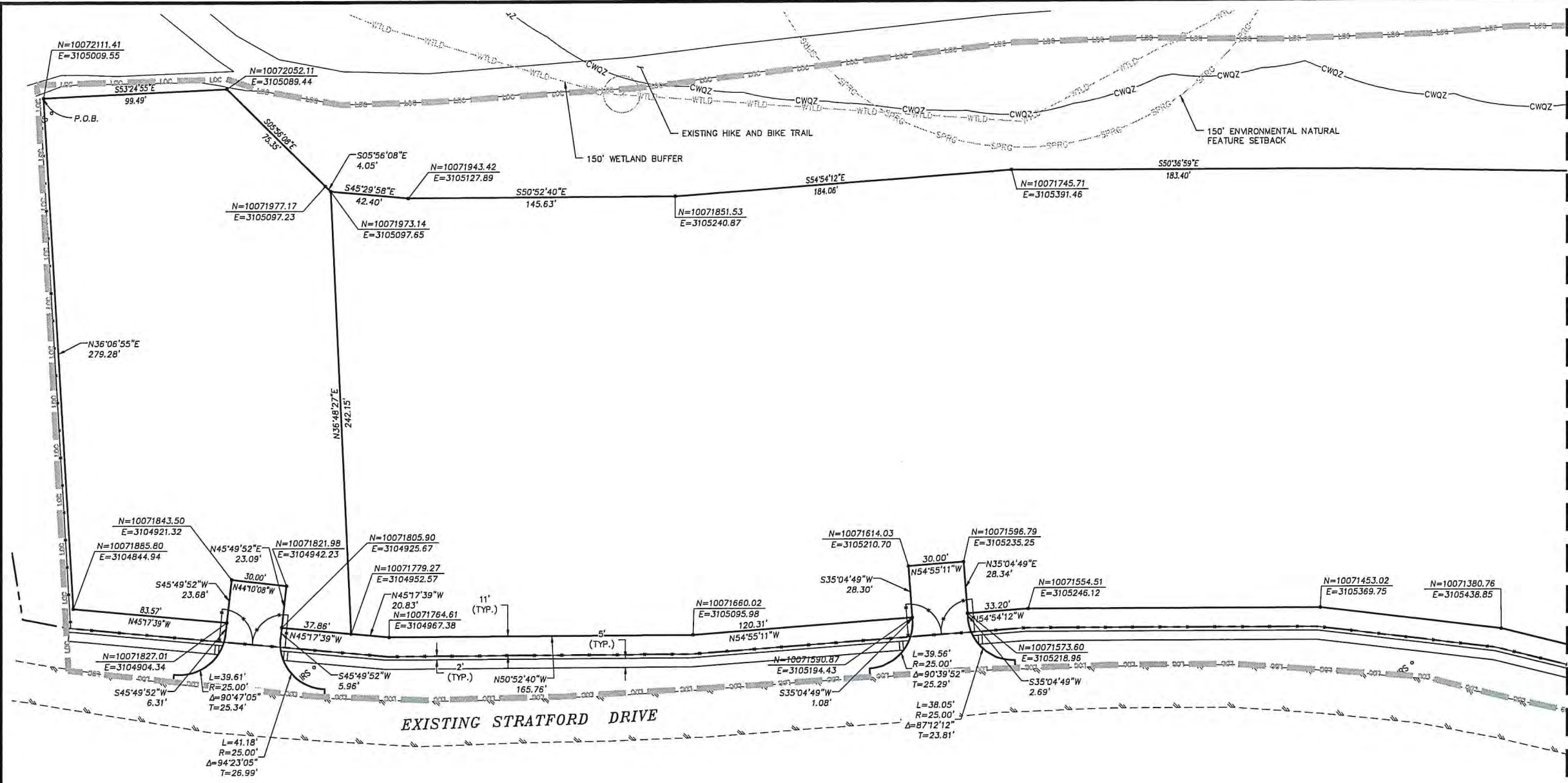
SITE PLAN

SHEET NO. 5
 OF 21 SHEETS

FILE NO. 53691-05-SITE
 PROJECT NO. 100053691

SP-XXXX-XXXXX

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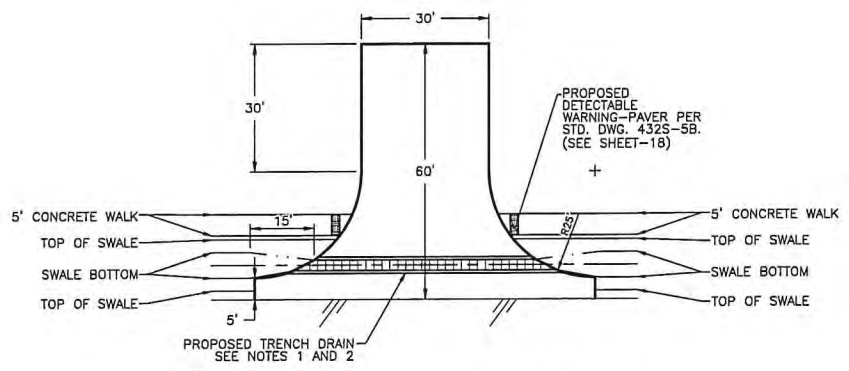
MATCHLINE - SEE SHEET 7

LEGEND

- IRSO 5/8" IRON ROD SET W/ATKINS CAP
- EXISTING EDGE OF ASPHALT
- CWQZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WILD- EXISTING WETLANDS

NOTES

1. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
3. SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.



- NOTE:**
1. TRENCH DRAIN GRATE TO BE NEENAH R-4990-HX OR R-4990-KX OR APPROVED EQUAL CONTRACTOR TO CUT GRATE TO MATCH EDGE OF PAVEMENT AS NECESSARY.
 2. LENGTH OF TRENCH DRAIN PROVIDED IS MEASURED AT THE EDGE CLOSEST TO THE EXISTING EDGE OF PAVEMENT.
 3. TAPER SWALE BOTTOM TO MATCH TRENCH WIDTH OVER 15'.
 4. CONCRETE DRIVEWAY PER STD. NO. 433S-2, SEE SHEET 20.

TYPICAL DRIVEWAY DETAIL

N.T.S. A
6

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 6 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION XXX OF
 CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ _____

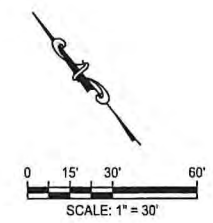
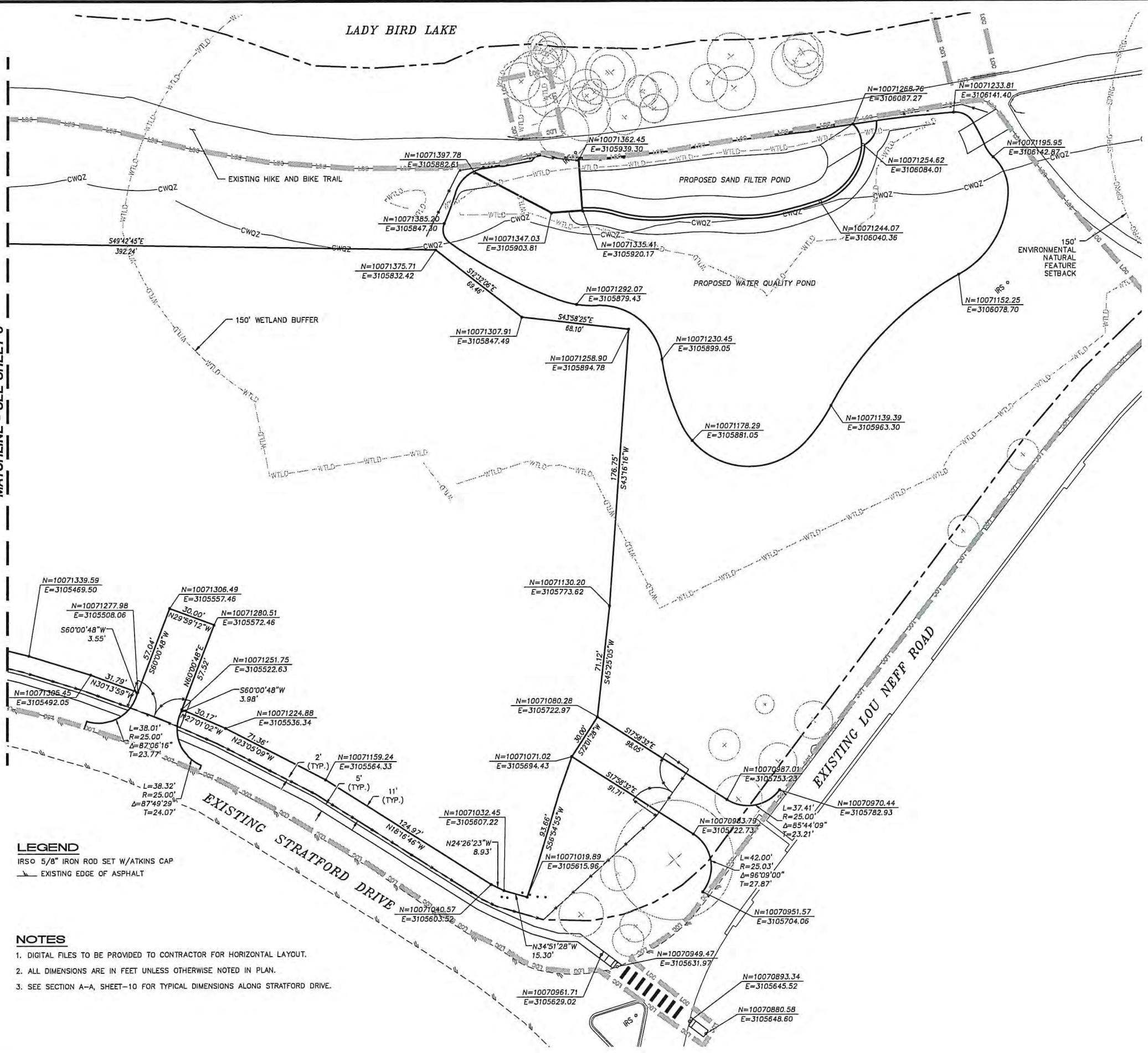
Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

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<p>DESIGNED BY: NAB/CEA DRAWN BY: JLC CHECKED BY: PAB/TPB APPROVED BY: SAS DATE: JANUARY, 2018</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <h1 style="margin: 0;">ATKINS</h1> <p style="font-size: 8px; margin: 0;">11801 DOMINION BOULEVARD, SUITE 800 AUSTIN, TEXAS 78758 • (512) 327-4840 TYPE REG. NO. F-474</p> </td> <td style="width: 50%; text-align: center;"> </td> </tr> <tr> <td style="text-align: center;"> <p>ZILKER PARK AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS</p> </td> <td style="text-align: center;"> <p>DIMENSIONAL CONTROL PLAN</p> </td> </tr> <tr> <td style="text-align: center;"> <p>SHEET NO. 6</p> </td> <td style="text-align: center;"> <p>OF 21 SHEETS</p> </td> </tr> <tr> <td colspan="2" style="text-align: center;"> <p>FILE NO. 53691-06-DIMS PROJECT NO. 100053691</p> </td> </tr> </table>	<h1 style="margin: 0;">ATKINS</h1> <p style="font-size: 8px; margin: 0;">11801 DOMINION BOULEVARD, SUITE 800 AUSTIN, TEXAS 78758 • (512) 327-4840 TYPE REG. NO. F-474</p>		<p>ZILKER PARK AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS</p>	<p>DIMENSIONAL CONTROL PLAN</p>	<p>SHEET NO. 6</p>	<p>OF 21 SHEETS</p>	<p>FILE NO. 53691-06-DIMS PROJECT NO. 100053691</p>	
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<p>SHEET NO. 6</p>	<p>OF 21 SHEETS</p>								
<p>FILE NO. 53691-06-DIMS PROJECT NO. 100053691</p>									

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MATCHLINE - SEE SHEET 6



LEGEND
 IRSO 5/8" IRON ROD SET W/ATKINS CAP
 --- EXISTING EDGE OF ASPHALT

NOTES
 1. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
 2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
 3. SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 7 of 21
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 EXPIRATION DATE (25-S-81, LDC) CASE MANAGER XXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DOZ

Director, Development Review Department
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DESIGNED BY: NAB/CEA	NO.	BY DATE
DRAWN BY: JLC		
CHECKED BY: PAB/TPB		
APPROVED BY: SAS		
DATE: JANUARY, 2018		
REVISION		

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: JANUARY, 2018

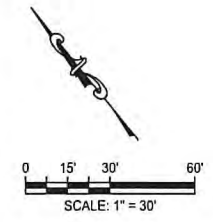
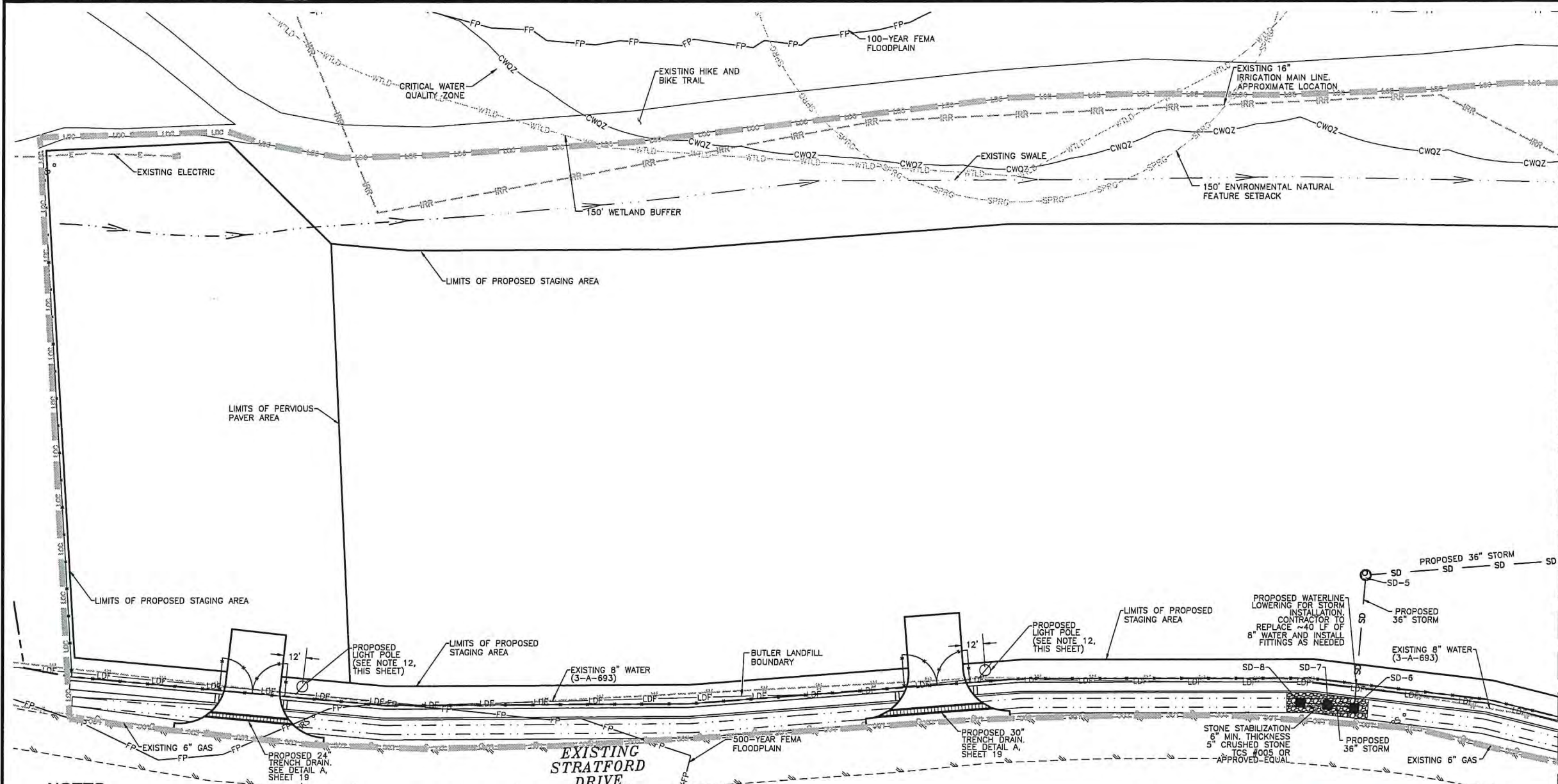
ATKINS
 1801 DOMINION BOULEVARD, SUITE 600
 AUSTIN, TEXAS 78758 - (512) 337-6840
 TBPE REG. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 DIMENSIONAL CONTROL PLAN

SHEET NO. 7
 OF 21 SHEETS
 FILE NO. 53691-06-DIMS
 PROJECT NO. 100053691

SP-XXXX-XXXXX



MATCHLINE - SEE SHEET 9

DESIGNED BY: NAB/CEA	NO.	REVISION	BY DATE
DRAWN BY: JLC			
CHECKED BY: PAB/TPB			
APPROVED BY: SAS			
DATE: JANUARY, 2018			

ATKINS
 11801 DOMAN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (817) 377-8840
 TBP REG. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 UTILITY PLAN

SHEET NO. 8
 OF 21 SHEETS
 FILE NO. 53691-07-UTILITY
 PROJECT NO. 100053691

SP-XXXX-XXXXX

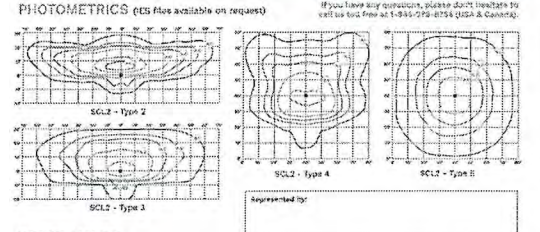
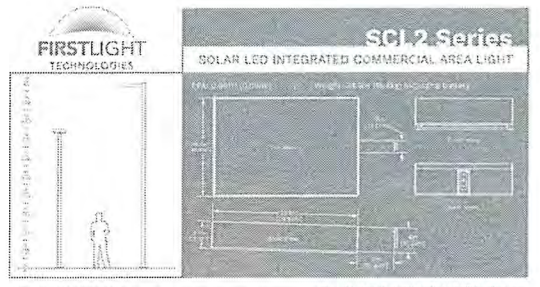
NOTES

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2. THE CONTRACTOR SHALL CONTACT ATKINS WITH ANY ITEMS ON THESE PLANS THAT NEED CLARIFICATION OR ANY FIELD CONDITIONS THAT ARE NOT CONSISTENT WITH THESE PLANS.
3. THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
4. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
5. SEE SHEET 2 FOR GENERAL & STANDARD CONSTRUCTION NOTES.
6. SEE SHEET 21 FOR STANDARD WATER DETAILS.
7. EXISTING UTILITIES ARE PER ON GROUND SURVEY AND RECORD DRAWING CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. WATER SERVICES WILL REQUIRE REDUCED PRESSURE ZONE BACKFLOW PREVENTER.
9. PIPE MATERIAL FOR WATER SERVICE SHALL BE COPPER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.

11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
12. LIGHTS WILL BE FIRSTLIGHT TECHNOLOGIES SCL2 SERIES SOLAR LED INTEGRATED COMMERCIAL AREA LIGHT (SEE CUT SHEET, THIS SHEET), OR APPROVED EQUAL. LIGHT POLES WILL BE 20' TALL WITH BLACK FINISH, TYPE 3 DISTRIBUTION, 3000K COLOR, AND 02 LIGHTING PROFILE. INSTALL FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E, 2.5 AND WILL BE REVIEWED DURING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.

LEGEND

- PP EXISTING POWER POLE
- EXISTING GUY WIRE
- ⊠ EXISTING GAS METER
- EXISTING FIRE HYDRANT
- WM ○ EXISTING WATER METER
- ⊠ EXISTING ELECTRIC VAULT
- IRS ○ 5/8" IRON ROD SET W/ATKINS CAP
- ⊕ EXISTING TREE TO REMAIN
- ⊖ EXISTING TREE TO BE REMOVED
- EXISTING EDGE OF ASPHALT
- W- EXISTING WATER LINE
- G- EXISTING GAS LINE
- SD- EXISTING STORM DRAIN LINE
- IRR- EXISTING IRRIGATION LINE
- E- EXISTING ELECTRICAL
- ⊙ PROPOSED LIGHT POLE
- PROPOSED CATCH BASIN
- SD- PROPOSED STORM DRAIN LINE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED RIP-RAP
- CWOZ- EXISTING WATER QUALITY ZONE
- ⊠ LOC LIMITS OF CONSTRUCTION
- WTL- EXISTING WETLANDS



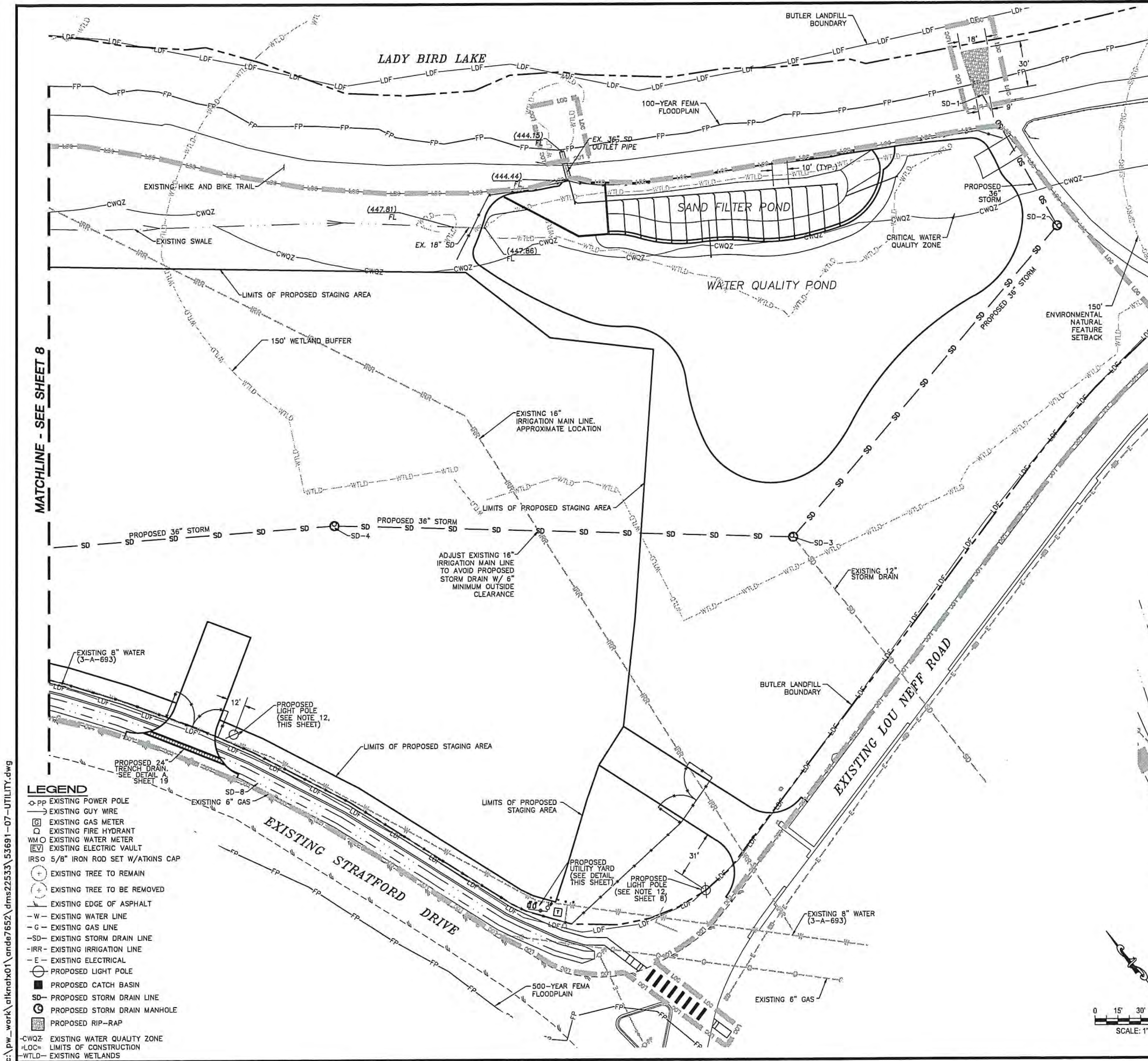
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SITE PLAN APPROVAL Sheet 8 of 21
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Director, Development Review Department
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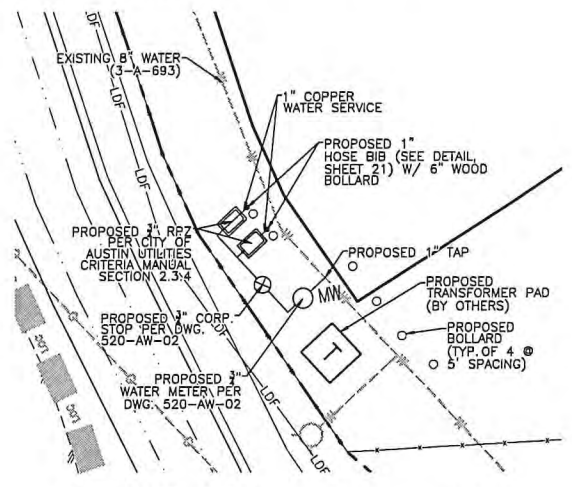
MATCHLINE - SEE SHEET 8

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- LEGEND**
- PP EXISTING POWER POLE
 - G EXISTING GUY WIRE
 - EXISTING GAS METER
 - EXISTING FIRE HYDRANT
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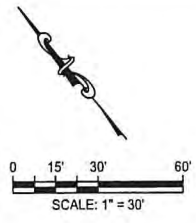
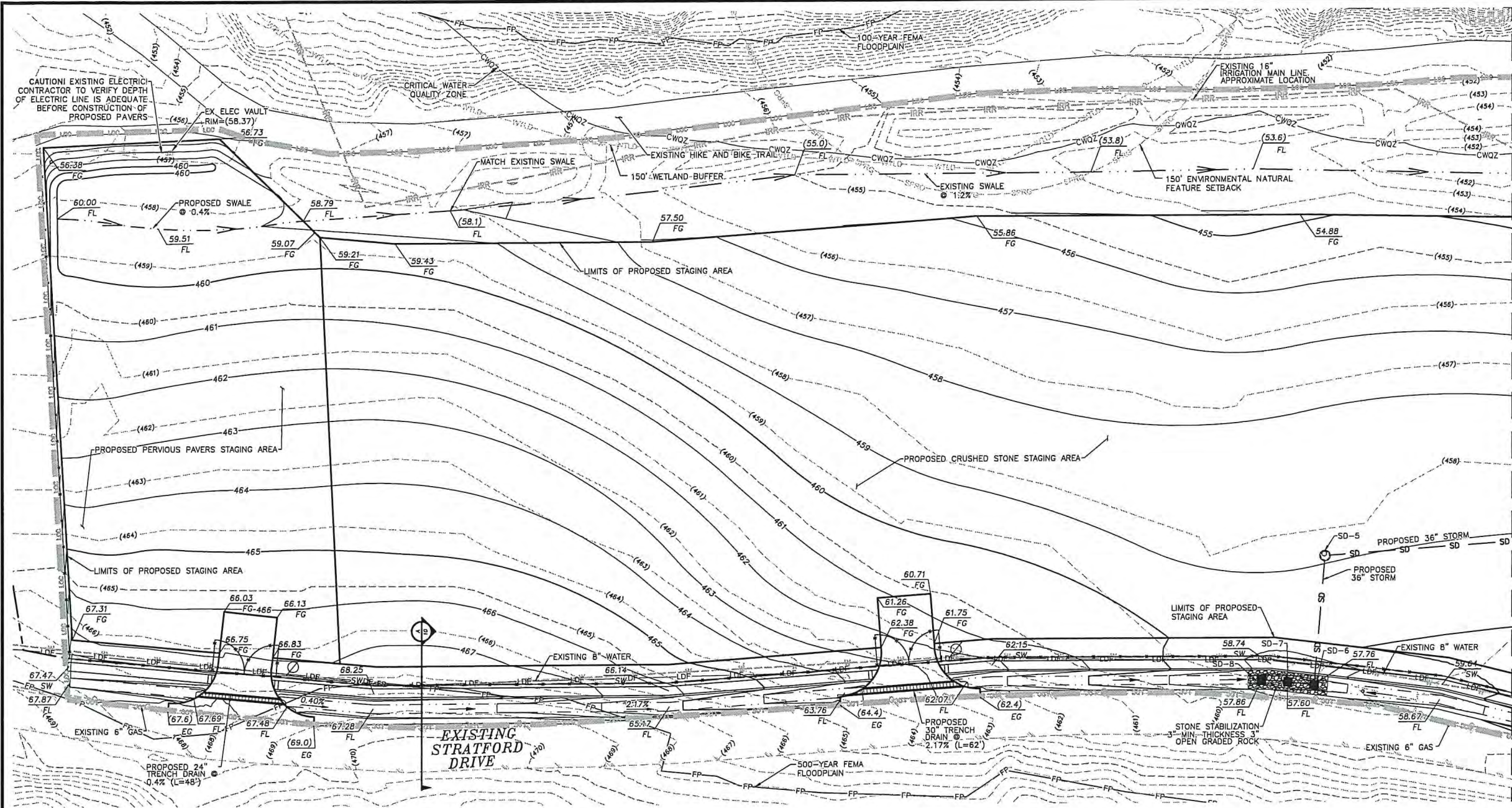
SITE PLAN APPROVAL Sheet 9 of 21

FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
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<p>ATKINS</p> <p>11801 DOMINION BOULEVARD, SUITE 600 AUSTIN, TEXAS 78704-6400 TEL: 512-327-0640 TXBE REG. NO. F-471</p>	<p>UTILITY PLAN</p> <p>ZILKER PARK STAGING AREA AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS</p>						
<p>DESIGNED BY: NAB/CEA DRAWN BY: JLC CHECKED BY: PAB/TPB APPROVED BY: SAS DATE: JANUARY, 2018</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE			
NO.	DESCRIPTION	DATE					
<p>SHEET NO. 9 OF 21 SHEETS</p>							
<p>FILE NO. 53691-07-UTILITY PROJECT NO. 100053691 SP-XXXX-XXXXX</p>							



MATCHLINE - SEE SHEET 11

GRADING PLAN NOTES

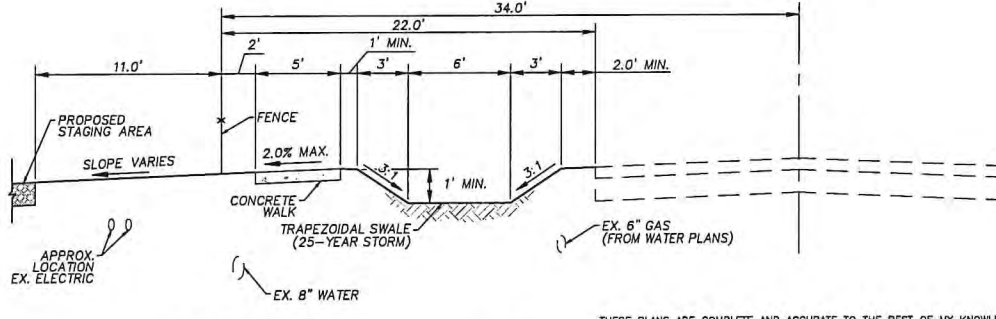
- CONTRACTOR TO ADJUST PAVEMENTS AND CURBS SO THAT THERE ARE SMOOTH TRANSITIONS BETWEEN EXISTING AND PROPOSED.
- FINAL EXPOSED SUBGRADE SURFACES SHALL BE PROOF ROLLED WITH A SOIL COMPACTOR HAVING A STATIC WEIGHT OF AT LEAST 20 TONS, SUCH AS A CATERPILLAR 815F, TO DETERMINE AREAS OF SOFT OR PUMPING SUBGRADE. SUCH SUBGRADE, ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIAL SHALL BE UNDERCUT AND REPLACED WITH CRUSHED LIMESTONE BASE MATERIAL AND COMPACTED TO DENSITY OF ADJACENT MATERIAL.
- SCARIFY AT LEAST 6 INCHES OF THE CUT, PROOF ROLLED SUBGRADE AND RECOMPACT TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY TEX-114-E. MOISTURE CONTENT SHALL BE BETWEEN -1% AND +3% OF OPTIMUM.
- ALL GRADES OUTSIDE OF PAVEMENT SHALL BE 1% MIN. OR 3:1 (33%) MAX. CONTRACTOR TO INSURE POSITIVE DRAINAGE IN GRASSY AREAS AND PAVED AREAS.
- ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50 (2%) AND RUNNING SLOPES MAY NOT EXCEED 1:20 (5%) UNLESS DESIGNED AS A RAMP.
- SEE SHEET 17 FOR STORM DRAIN PROFILE.
- SEE SHEET 6 FOR TRENCH DRAIN & SWALE INFORMATION
- ADD 400 TO PLAN GRADES, EXCLUDING EXISTING AND PROPOSED CONTOURS.
- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.

CONCRETE NOTES

- (UNLESS SPECIFIED OTHERWISE IN THE PLANS OR SPECIFICATIONS):
- ALL CONCRETE WORK, DETAILS, AND CONSTRUCTION METHODS SHALL CONFORM WITH THE PROVISIONS OF THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND LOCAL BUILDING CODES. IF CODES CONFLICT, LOCAL CODE SHALL TAKE PRECEDENCE.
 - CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS. IN NO CASE SHALL THE PORTLAND CEMENT FACTOR BE LESS THAN 5.8 BAGS PER CUBIC YARD OF CONCRETE. THE MAXIMUM WATER-CEMENT RATIO SHALL BE 5.6 GALLONS PER BAG. THE AMOUNT OF WATER REQUIRED SHALL BE SUFFICIENT TO PRODUCE CONCRETE WITH A SLUMP OF 4 TO 6 INCHES.
 - ALL REINFORCING STEEL SHALL CONFORM TO THE CURRENT REQUIREMENTS OF ASTM A-615-60, EXCEPT WELDED STEEL WIRE MESH - WHICH SHALL MEET ASTM A-185.
 - ALL CONCRETE SURFACES TO HAVE MEDIUM BROOM FINISH. CHAMFER ALL EXPOSED EDGES OF CONCRETE ONE INCH (1"), UNLESS OTHERWISE NOTED.
 - CONCRETE COVER ON ALL REINFORCEMENT SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - CONCRETE PLACED AGAINST SOIL - 3"
 - EXPOSED FORMED SURFACES - 2"
 - FLOOR SLABS - 2" FROM TOP SURFACES
 - PAVEMENT SUBBASE SHALL MEET TXDOT GRANULAR SUBBASE, GRADATION #12, COMPACTED TO 95% STANDARD PROCTOR.
 - EXTERIOR CONCRETE SHALL BE AIR ENTRAINED.
 - ANY DESIGN CHANGES SHALL BE APPROVED BY THE ENGINEER.

LEGEND

- PP EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING GAS METER
- EXISTING FIRE HYDRANT
- WM EXISTING WATER METER
- ⊕ EXISTING ELECTRIC VAULT
- IRSD 5/8" IRON ROD SET W/ATKINS CAP
- ⊕ EXISTING TREE TO REMAIN
- ⊖ EXISTING TREE TO BE REMOVED
- EXISTING EDGE OF ASPHALT
- W- EXISTING WATER LINE
- G- EXISTING GAS LINE
- SD- EXISTING STORM DRAIN LINE
- IRR- EXISTING IRRIGATION LINE
- E- EXISTING ELECTRICAL
- PROPOSED LIGHT POLE
- PROPOSED CATCH BASIN
- SD- PROPOSED STORM DRAIN LINE
- ⊕ PROPOSED STORM DRAIN MANHOLE
- PROPOSED RIP-RAP
- FLOW DIRECTION
- CWOZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WILD- EXISTING WETLANDS



TYPICAL SECTION
N.T.S.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

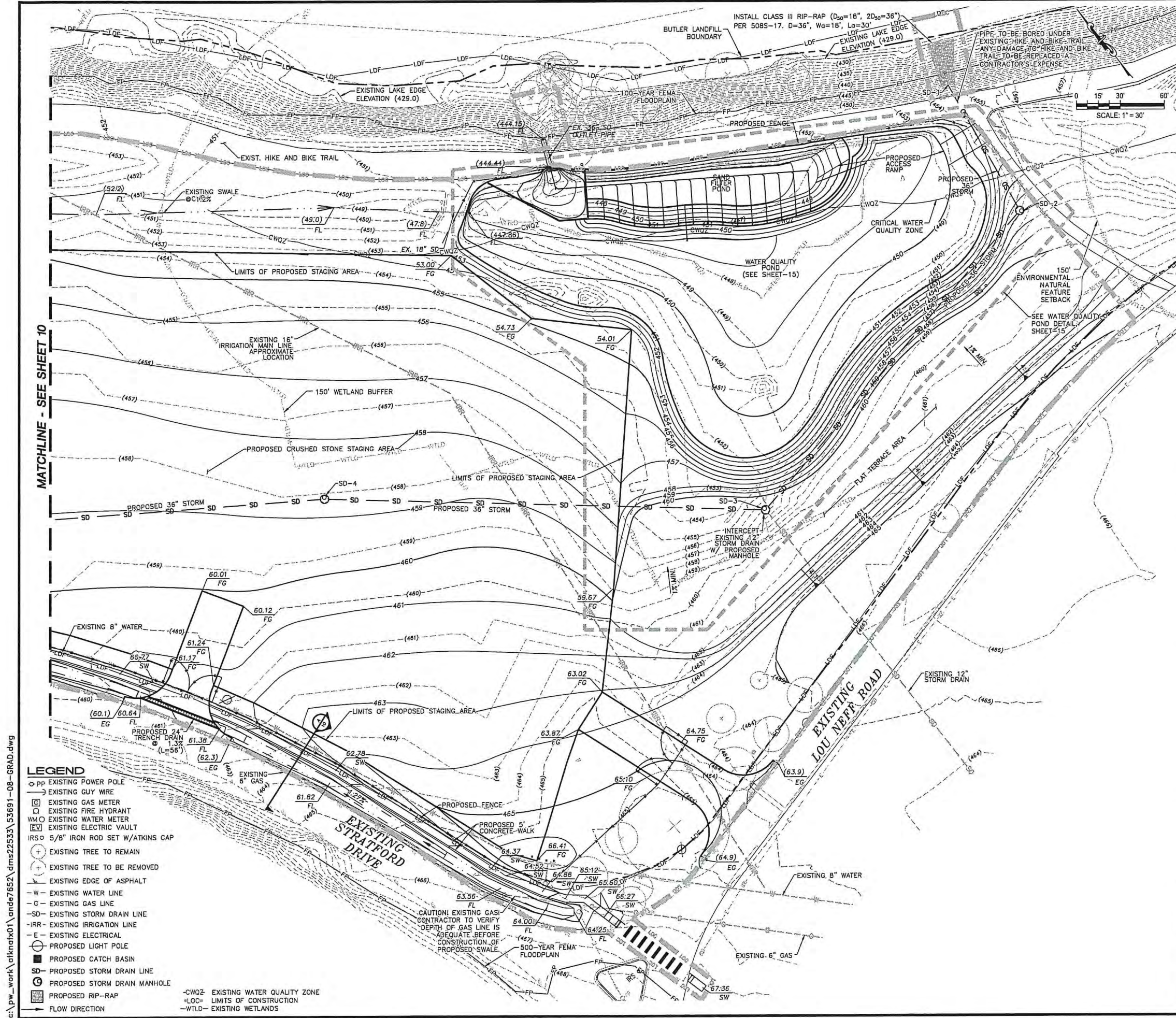
SITE PLAN APPROVAL Sheet 10 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION XXX OF
 CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE NUMBER XXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD-#97903-A) DWPZ DOZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

<p>DESIGNED BY: NAB/SEA DRAWN BY: JLC CHECKED BY: PAB/TPB APPROVED BY: SAS DATE: JANUARY, 2018</p>	<p>NO. _____ REVISION _____ BY _____ DATE _____</p>
<p>ATKINS 11801 DOMINION BOULEVARD, SUITE 500 AUSTIN, TEXAS 78758 - (512) 327-8840 TBPB REG. NO. F-174</p>	
<p>ZILKER PARK AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS</p>	
<p>GRADING PLAN</p>	
<p>SHEET NO. 10 OF 21 SHEETS</p>	
<p>FILE NO. 53691-08-GRAD PROJECT NO. 100053691</p>	

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GRADING PLAN NOTES

- CONTRACTOR TO ADJUST PAVEMENTS AND CURBS SO THAT THERE ARE SMOOTH TRANSITIONS BETWEEN EXISTING AND PROPOSED.
- FINAL EXPOSED SUBGRADE SURFACES SHALL BE PROOF ROLLED WITH A SOIL COMPACTOR HAVING A STATIC WEIGHT OF AT LEAST 20 TONS, SUCH AS A CATERPILLAR 815T TO DETERMINE AREAS OF SOFT OR PUMPING SUBGRADE. SUCH SUBGRADE, ORGANIC MATERIAL, OR OTHER DELETERIOUS MATERIAL SHALL BE UNDERCUT AND REPLACED WITH CRUSHED LIMESTONE BASE MATERIAL AND COMPACTED TO DENSITY OF ADJACENT MATERIAL.
- SCARIFY AT LEAST 6 INCHES OF THE CUT, PROOF ROLLED SUBGRADE AND RECOMPACT TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY TEX-114-E. MOISTURE CONTENT SHALL BE BETWEEN -1% AND +3% OF OPTIMUM.
- ALL GRADES OUTSIDE OF PAVEMENT SHALL BE 1% MIN. OR 3:1 (33%) MAX. CONTRACTOR TO INSURE POSITIVE DRAINAGE IN GRASSY AREAS AND PAVED AREAS.
- ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50 (2%) AND RUNNING SLOPES MAY NOT EXCEED 1:20 (5%) UNLESS DESIGNED AS A RAMP.
- SEE SHEET 17 FOR STORM DRAIN PROFILE.
- SEE SHEET 6 FOR TRENCH DRAIN & SWALE INFORMATION.
- ADD 400 TO PLAN GRADES, EXCLUDING EXISTING AND PROPOSED CONTOURS.
- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-6377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.

CONCRETE NOTES

- (UNLESS SPECIFIED OTHERWISE IN THE PLANS OR SPECIFICATIONS):
- ALL CONCRETE WORK, DETAILS, AND CONSTRUCTION METHODS SHALL CONFORM TO THE PROVISIONS OF THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND LOCAL BUILDING CODES. IF CODES CONFLICT, LOCAL CODE SHALL TAKE PRECEDENCE.
 - CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS. IN NO CASE SHALL THE PORTLAND CEMENT FACTOR BE LESS THAN 5.8 BAGS PER CUBIC YARD OF CONCRETE. THE MAXIMUM WATER-CEMENT RATIO SHALL BE 5.6 GALLONS PER BAG. THE AMOUNT OF WATER REQUIRED SHALL BE SUFFICIENT TO PRODUCE CONCRETE WITH A SLUMP OF 4 TO 6 INCHES.
 - ALL REINFORCING STEEL SHALL CONFORM TO THE CURRENT REQUIREMENTS OF ASTM A-615-60, EXCEPT WELDED STEEL WIRE MESH - WHICH SHALL MEET ASTM A-185.
 - ALL CONCRETE SURFACES TO HAVE MEDIUM BROOM FINISH. CHAMFER ALL EXPOSED EDGES OF CONCRETE ONE INCH (1"), UNLESS OTHERWISE NOTED.
 - CONCRETE COVER ON ALL REINFORCEMENT SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - CONCRETE PLACED AGAINST SOIL - 3"
 - EXPOSED FORMED SURFACES - 2"
 - FLOOR SLABS - 2" FROM TOP SURFACES
 - PAVEMENT SUBBASE SHALL MEET TXDOT GRANULAR SUBBASE, GRADATION #12, COMPACTED TO 95% STANDARD PROCTOR.
 - EXTERIOR CONCRETE SHALL BE AIR ENTRAINED.
 - ANY DESIGN CHANGES SHALL BE APPROVED BY THE ENGINEER.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 11 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE NUMBER XXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD #970905-A) DWPZ DOZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE; Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

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NO.	REVISION	DATE	BY

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TBP
 APPROVED BY: SAS
 DATE: JANUARY, 2018

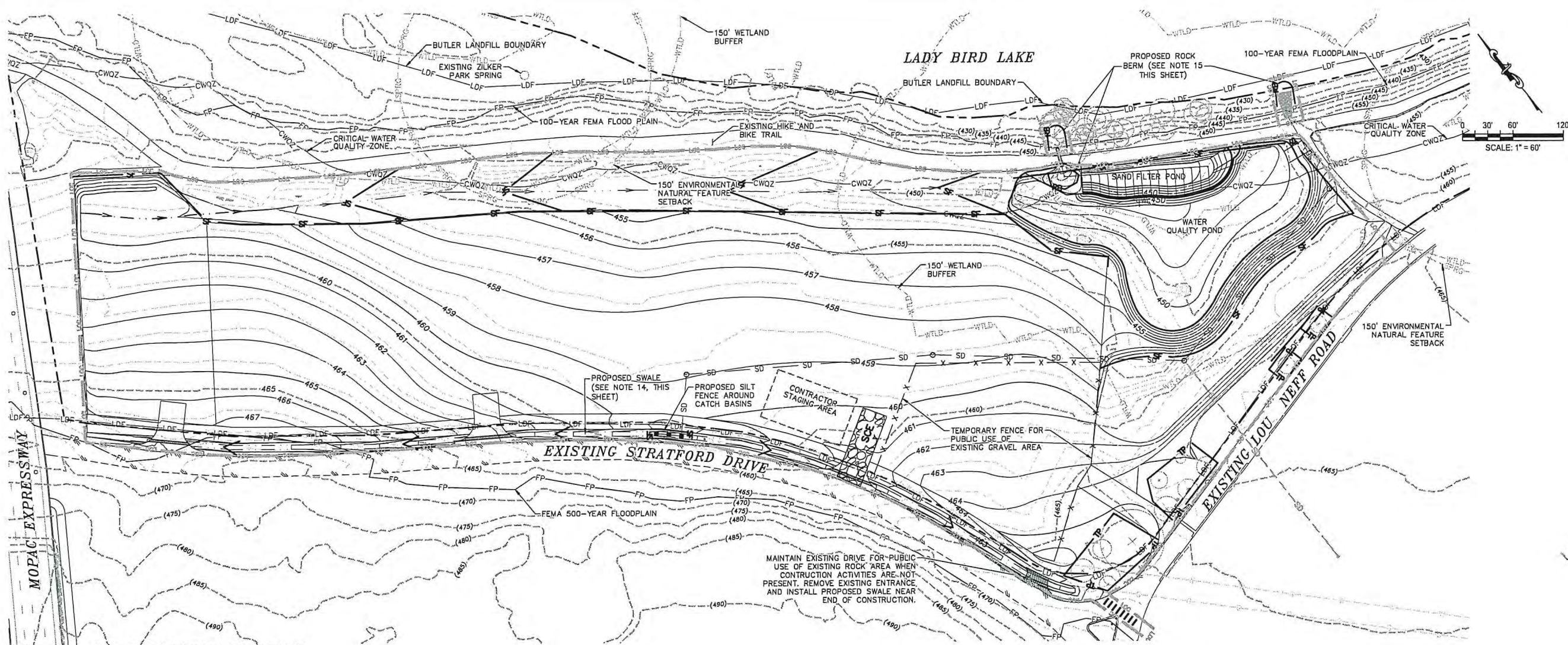


ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 GRADING PLAN

SHEET NO. 11
 OF 21 SHEETS
 FILE NO. 53691-08-GRAD
 PROJECT NO. 100053691
 SP-XXXX-XXXXX

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EROSION AND SEDIMENTATION CONTROL AND TREE PROTECTION NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ATKINS WITH ANY ITEMS ON THESE PLANS THAT NEED CLARIFICATION OR ANY FIELD CONDITIONS THAT ARE NOT CONSISTENT WITH THESE PLANS.
- THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
- REFER TO SHEET-2 FOR EROSION /SEDIMENTATION AND TREE PROTECTION NOTES.
- REFER TO SHEET 4 FOR TREE PROTECTION DETAILS
- REFER TO SHEET 18 FOR EROSION /SEDIMENTATION CONTROL DETAILS.
- ADEQUATE BARRIERS BETWEEN ALL VEHICULAR USE AREAS AND ADJACENT LANDSCAPE AREAS, SUCH AS CONCRETE CURBS OR WHEEL STOPS, ARE REQUIRED AND MUST COMPLY WITH COA ENVIRONMENTAL CRITERIA MANUAL (ECM), SECTION 2.4.7, "PROTECTION OF LANDSCAPE AREAS."
- THE ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP THE PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
- IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING. (ECM 1.4.4.B.3, SECTION 5, I.)
- THE CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
- THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY. (ECM 1.4.4.D.4)
- INITIATE FINAL SLOPE STABILIZATION WITH 7 DAYS OF ACHIEVING FINAL GRADE.
- THE CONTRACTOR SHALL PLACE THE SEDIMENT FENCE IN THE PROPOSED SWALE UPON COMPLETION OF GRADING.
- ROCK BERM TO BE INSTALLED PRIOR TO WORK. REMOVE AND REPLACE AS NEEDED FOR WORK IN AREA. WHEN REMOVED, INSTALL SILT FENCE OVER PIPE OPENING. PUMP OUT WATER WHEN NEEDED THRU SEDIMENT TRAP PER 624S-1 (SHEET 18) AND DEWATERING FILTER BAG PER DETAIL ON SHEET 18.
- IN THE EVENT THAT DEWATERING IS NECESSARY, THE CONTRACTOR IS REQUIRED TO PREPARE A DEWATERING PLAN THAT WILL DESCRIBE HOW THE DEWATERING OPERATION WILL BE COMPLETED AND HOW THE PUMP EFFLUENT WILL BE MANAGED. REFERENCE THE SOILS REPORT FOR DISCUSSIONS OF GROUNDWATER CONSIDERATION. THE COST FOR DEWATERING OPERATIONS SHALL BE INCLUDED IN THE PRICE BID FOR THE STORM SEWER IMPROVEMENT. THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY ADEQUATE TO DEWATER. THE TRENCH SHOULD WATER BE ENCOUNTERED, THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND THE LAYING AND JOINING OF PIPE IS MADE ON FIRM, DRY GROUND. IF DEWATERING CANNOT PRODUCE ACCEPTABLE SUBGRADE, AND ONLY AS DIRECTED BY THE ENGINEER, UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED PER CITY OF AUSTIN SPECIFICATIONS SECTION 510.3(9) AND SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS SEWER ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PACE AND MAINTAIN THE NECESSARY SEDIMENT CONTROL MEASURES TO FILTER THE DEWATERING DISCHARGE. THE COST OF ANY DEWATERING OPERATIONS REQUIRED FOR THE CONSTRUCTION OF THE STORM SEWER SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS SEWER ITEMS NO SEPARATE PAYMENT SHALL BE MADE.

LEGEND

- 450 — PROPOSED CONTOUR
- 460 — EXISTING CONTOUR
- SF — SILT FENCE PER 642S-1 (SHEET 18)
- TP — TREE PROTECTION FENCE PER 610S-4 (SHEET 4)
- RB — RB — ROCK BERM PER 639S-1 (SHEET 18)
- LOC — LOC — LIMITS OF CONSTRUCTION/DISTURBANCE
- SCE — STABILIZED CONSTRUCTION ENTRANCE PER 641S-1 (SHEET 18)
- X — X — X — TEMPORARY CONSTRUCTION FENCE PER 610S-4 (SHEET 4)
- CWQZ — EXISTING WATER QUALITY ZONE
- LOC — LIMITS OF CONSTRUCTION
- WTL — EXISTING WETLANDS

CONTRACTOR HAS THE OPTION OF SUBSTITUTING SILT FENCE FOR MULCH SOCK PER COA DETAIL

LIMITS OF CONSTRUCTION AREA= 12.9 ACRES

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 12 of 21

FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION: XXX OF
 CHAPTER XX-X OF THE CITY OF AUSTIN CODE
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD#970905-A) DWP2 DOZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
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DESIGNED BY: NAB/CEA	NO.	REVISION	BY/DATE
DRAWN BY: JLC			
CHECKED BY: PAB/TPB			
APPROVED BY: SAS			
DATE: JANUARY, 2018			

ATKINS

14801 DOWMAN BOULEVARD, SUITE 600
 AUSTIN, TEXAS 78758-6123 327-4640
 TBP# REG. NO. F-74

SCOTT A. SMILEY
 50376
 PROFESSIONAL SEAL

01/03/18

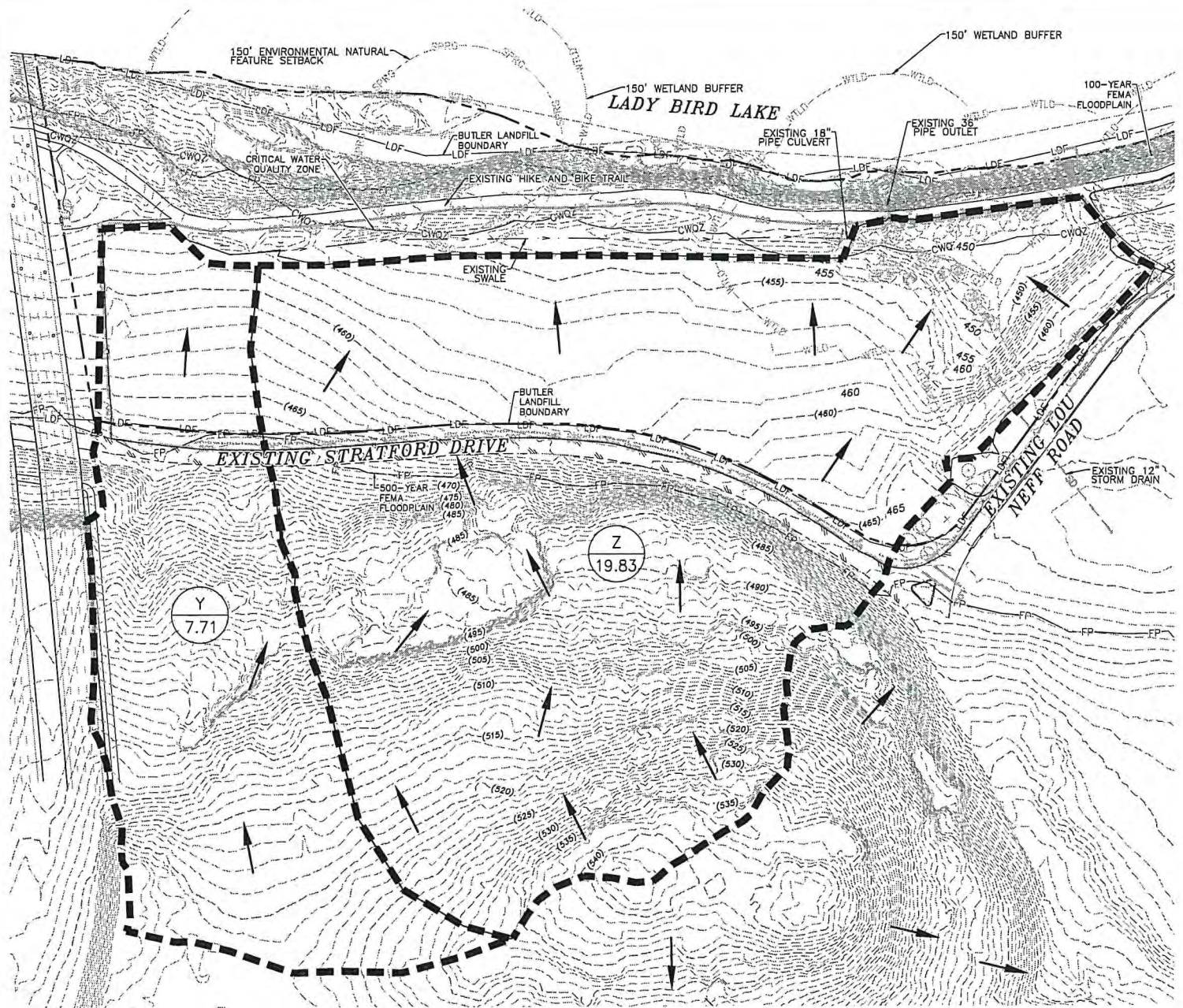
ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

EROSION AND SEDIMENT CONTROL PLAN

SHEET NO. 12

OF 21 SHEETS

FILE NO. 53691-09-EROS
 PROJECT NO. 100053691



EXISTING DRAINAGE AREA MAP

- LEGEND**
- X
0.0 DRAINAGE AREA NO.
DRAINAGE AREA ACRES
 - DRAINAGE BOUNDARY
 - FLOW DIRECTION
 - CWOZ- EXISTING WATER QUALITY ZONE
 - LOC- LIMITS OF CONSTRUCTION
 - WTL- EXISTING WETLANDS

1. EXISTING DISCHARGE (Q, cfs) CALCULATIONS:

Drainage Area (acres)	
(Y)	(Z)
7.71	19.83

1a. Time of Concentration:

Notes:
 1. Manning's "n" values are taken from Table 2-2, COA Drainage Criteria Manual
 2. Sheet flow and shallow concentrated flow are assumed, no channelized flow occurs
 3. P=3.44 inches (Table 2-3)

$T_c = T_{c(sheet)} + T_{c(shallow\ concentrated)}$ (Eq. 2-2)
 $T_{c(sheet)} = 0.42(nL)^{0.8} / (P^{0.5} s^{0.4})$ (Eq. 2-3)
 $T_{c(shallow\ concentrated)} = L / (60(16.1345s)^{0.5})$ (Eq. 2-4)

Basin A:	Manning's "n"	L (ft)	s (ft/s)	T _c (min)
Sheet Flow: First 100 feet	0.6	100	0.04	22
Shallow Concentrated Flow	0.6	1160	0.06	5
TOTAL				27

Basin B:	Manning's "n"	L (ft)	s (ft/s)	T _c (min)
Sheet Flow: First 100 feet	0.6	100	0.06	18
Shallow Concentrated Flow	0.6	860	0.10	3
TOTAL				21

1b. Rainfall Intensities:

Rainfall Intensity: $i = a(T_c + b)^{-c}$ (Eq. 2-8)

Intensity Duration Frequency Curve Coefficients (Table 2-5)

Freq (yrs)	a	b	c
2	54,767	11,051	0.8110
5	62,081	10,477	0.7820
10	70,820	10,356	0.7725
25	82,936	10,746	0.7634
50	100,800	12,172	0.7712
100	118,300	13,185	0.7736
500	188,000	17,233	0.7822

Intesities for Frequencies based on each Drainage Basin

Freq (yrs)	Y	Z
2	2.88	3.26
5	3.73	4.22
10	4.35	4.91
25	5.23	5.88
50	5.99	6.72
100	6.85	7.65
500	9.77	10.81

1c. Composite Runoff Coefficients for Drainage Basins: (Table 2-1)

Basin Y	A (acres)	C						
		Frequency (yrs)						
		2	5	10	25	50	100	500
Forest Woodland (steep)	5.98	0.35	0.39	0.41	0.45	0.48	0.52	0.58
Asphaltic	0.14	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	1.61	0.33	0.36	0.38	0.42	0.45	0.49	0.56
TOTAL	7.71	0.35	0.39	0.41	0.45	0.48	0.52	0.59

Basin Z	A (acres)	C						
		Frequency (yrs)						
		2	5	10	25	50	100	500
Forest Woodland (steep)	10.05	0.35	0.39	0.41	0.45	0.48	0.52	0.58
Asphaltic	0.54	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	9.24	0.33	0.36	0.38	0.42	0.45	0.49	0.56
TOTAL	19.83	0.35	0.39	0.41	0.45	0.48	0.52	0.59

1d. Flow Rates

Flow Rate (Q, cfs): $Q = C \cdot Y \cdot A$ (Eq. 2-1)

Basin	Basin Flow Rates for Various Frequencies (cfs)						
	2	5	10	25	50	100	500
Y	7.84	11.25	13.79	16.19	22.24	27.53	44.27
Z	22.70	32.30	39.61	52.16	63.58	78.55	126.83

EXISTING CONDITIONS DRAINAGE CALCULATIONS

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DESIGNED BY:	NAB/CEA
DRAWN BY:	JLC
CHECKED BY:	PAB/TPB
APPROVED BY:	SAS
DATE:	JANUARY, 2018

ATKINS

1800 DOMINION BOULEVARD, SUITE 600
AUSTIN, TEXAS 78758 - (512) 372-8840
TXPE REG. NO. 1-474

ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

EXISTING DRAINAGE AREA MAP AND CALCULATIONS

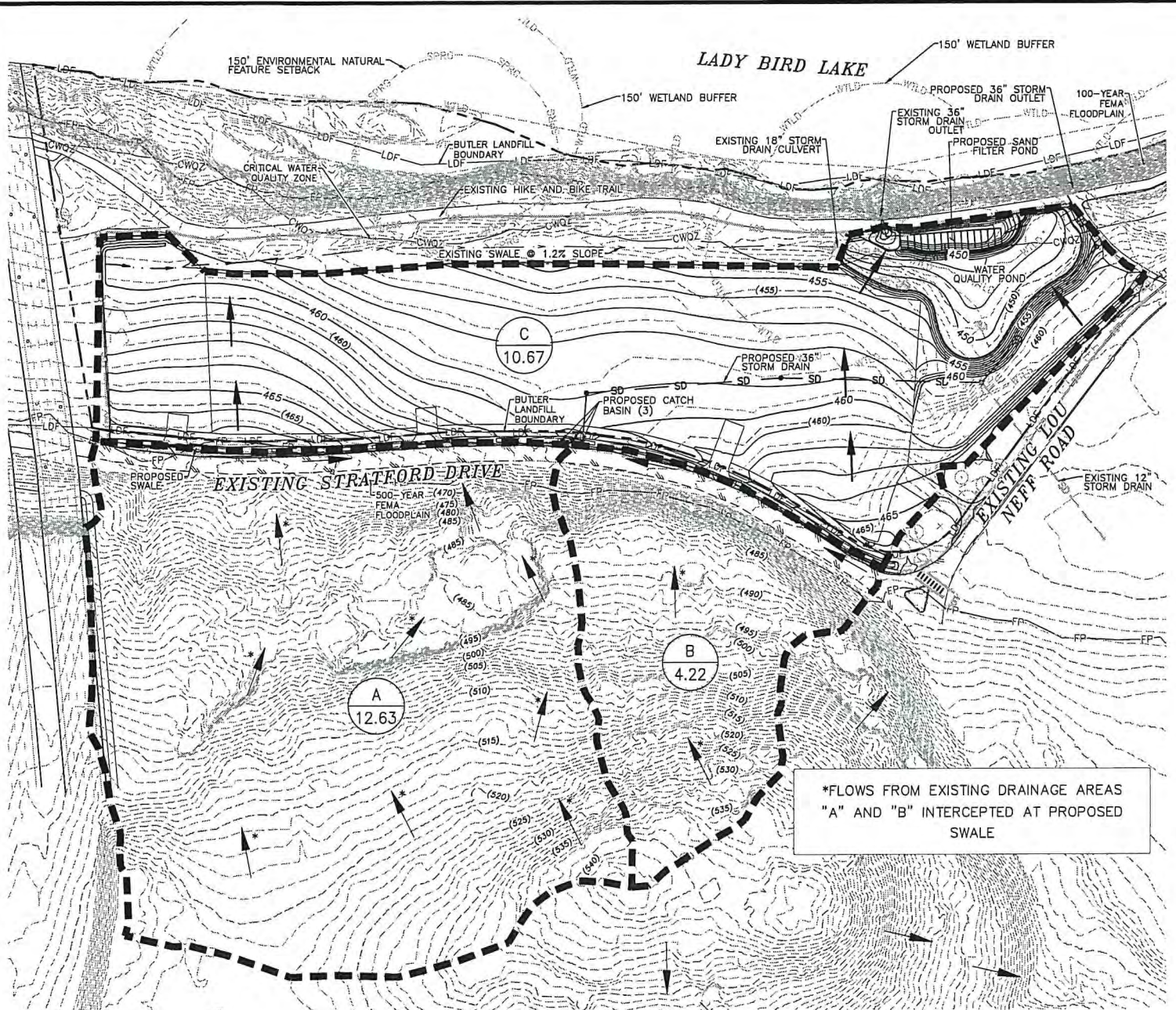
THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 13 of 21
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 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ .D02

Director, Development Review Department
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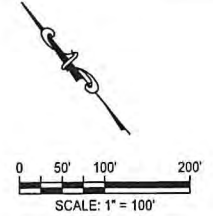
SHEET NO. 13
 OF 21 SHEETS
 FILE NO. 53691-10-DRAN
 PROJECT NO. 100053691
 SP-XXXX-XXXXX



PROPOSED DRAINAGE AREA MAP

LEGEND

- X
0.0 DRAINAGE AREA NO.
DRAINAGE AREA ACRES
- DRAINAGE BOUNDARY
- FLOW DIRECTION
- CWQZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WTL- EXISTING WETLANDS



1. DESIGN DISCHARGE (Q, cfs) CALCULATIONS:

Drainage Area (acres)		
(A)	(B)	(C)
12.63	4.22	10.67

- 1a. Time of Concentration:
Notes:
1. Manning's "n" values are taken from Table 2-2, COA Drainage Criteria Manual
2. Sheet flow and shallow concentrated flow are assumed, no channelized flow occurs
3. P=3.44 inches (Table 2-3)

$T_c = T_t(\text{sheet}) + T_{\text{shallow concentrated}}$ (Eq. 2-2)
Sheet Flow: First 100 feet $T_t = 0.42(L)^{0.8}(P)^{0.5}(S)^{0.4}$ (Eq. 2-3)
Shallow Concentrated Flow $T_t = L(60/16.1345(S)^{0.5})$ (Eq. 2-4)

Basin A:	Manning's "n"	L (ft)	s (ft/s)	Tc (min)
Sheet Flow: First 100 feet	0.0	100	0.05	20
Shallow Concentrated Flow	0.0	090	0.11	2
TOTAL				22

Basin B:	Manning's "n"	L (ft)	s (ft/s)	Tc (min)
Sheet Flow: First 100 feet	0.6	100	0.05	20
Shallow Concentrated Flow	0.6	611	0.13	2
TOTAL				21

Basin C:	Manning's "n"	L (ft)	s (ft/s)	Tc (min)
Sheet Flow: First 100 feet	0.15	100	0.02	9
Shallow Concentrated Flow	0.15	365	0.03	2
TOTAL				12

- 1b. Rainfall Intensities:
Rainfall intensity: $i = a/(T_c + b)^c$ (Eq. 2-4)

Intensity Duration Frequency Curve Coefficients (Table 2-5)

Freq (yrs)	a	b	c
2	54.767	11.051	0.8116
5	62.981	10.477	0.7820
10	70.820	10.305	0.7725
25	82.936	10.746	0.7634
50	100.600	12.172	0.7712
100	118.300	13.185	0.7736
500	188.000	17.233	0.7822

Intensities for Frequencies based on each Drainage Basin

Freq (yrs)	A	B	C
2	3.21	3.25	4.36
5	4.16	4.20	5.61
10	4.84	4.89	6.51
25	5.80	5.80	7.75
50	6.03	6.69	8.75
100	7.35	7.62	9.86
500	10.69	10.77	13.57

- 1c. Composite Runoff Coefficients for Drainage Basins: (Table 2-1)

Basin A	A (acres)	C						
		2	5	10	25	50	100	500
Forest Woodland (steep)	11.31	0.35	0.35	0.41	0.45	0.48	0.52	0.50
Asphaltic	0.48	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	0.84	0.33	0.36	0.38	0.42	0.45	0.49	0.58
TOTAL	12.63	0.36	0.40	0.42	0.46	0.49	0.53	0.60

Basin B	A (acres)	C						
		2	5	10	25	50	100	500
Forest Woodland (steep)	3.45	0.35	0.39	0.41	0.45	0.48	0.52	0.58
Asphaltic	0.24	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	0.53	0.33	0.36	0.38	0.42	0.45	0.49	0.58
TOTAL	4.22	0.37	0.41	0.43	0.47	0.50	0.54	0.60

Basin C	A (acres)	C						
		2	5	10	25	50	100	500
Asphaltic	7.24	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	3.43	0.33	0.36	0.38	0.42	0.45	0.49	0.58
TOTAL	10.67	0.60	0.64	0.67	0.72	0.76	0.80	0.86

- 1d. Flow Rates
Flow Rate (Q, cfs): $Q = C \cdot I \cdot A$ (Eq. 2-1)

Basin	Basin Flow Rates for Various Frequencies (cfs)						
	2	5	10	25	50	100	500
A	14.74	21.13	25.87	33.97	41.35	50.96	80.45
B	5.06	7.22	8.85	11.60	14.11	17.39	27.45
C	27.96	38.18	46.67	59.41	70.49	84.56	125.25
A+B (swale)	19.80	28.35	34.72	45.58	55.46	68.37	107.91

2. PIPE DIMENSIONS

Pipe	25-Yr Flow Rate (cfs)	Manning's "n"	Slope (ft/ft)	Size (in)	Normal Depth (ft)	Length (ft)	Velocity (ft/s)
West Trench Drain	5.25	0.013	0.0040	24 x 12	0.99	48	6.78
Mid Trench Drain	22.04	0.013	0.0217	30 x 12	1.35	62	9.79
East Trench Drain	9.46	0.013	0.0120	24 x 12	0.86	56	7.35
Storm Drain	43.58	0.013	0.0042	36	2.64	1061	6.82

PROPOSED CONDITIONS DRAINAGE CALCULATIONS

DETENTION NOTE

PROJECT IS ON SHORE OF LADY BIRD LAKE SO DETENTION IS NOT PROPOSED. THERE IS NO DOWNSTREAM PROPERTY TO PROTECT.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 14 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ D02

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE; Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY:	NAB/CEA	NO.	BY:	DATE:
DRAWN BY:	JLC			
CHECKED BY:	PAB/TPB			
APPROVED BY:	SAS			
DATE:	JANUARY, 2018			

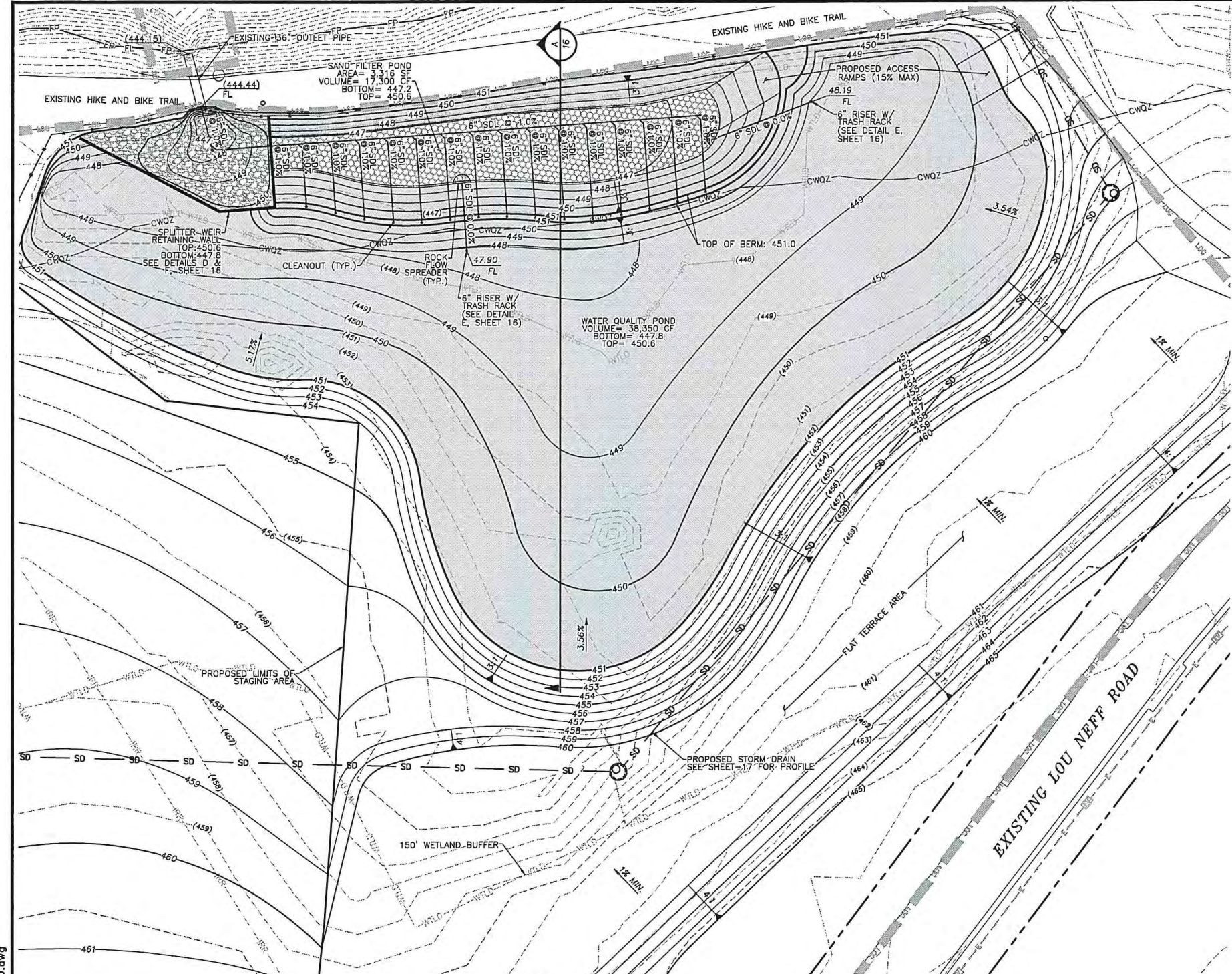
ATKINS
 18001 DOMINION BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (512) 327-8840
 TBP# REC. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 PROPOSED DRAINAGE AREA MAP AND CALCULATIONS

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c:\pw_work\atknat01\and7652\dms22533\53691-11-POND.dwg



PLAN VIEW
SCALE : 1"=20'

- LEGEND**
- [Symbol] LIMITS OF 18" CLAY AND IMPERMEABLE LINER (SEE DETAIL B, SHEET 16)
 - [Symbol] LIMITS OF SAND FILTER POND (SEE DETAIL C, SHEET 16)
 - [Symbol] LIMITS OF STONE STABILIZATION (SEE DETAIL F, SHEET 16)
 - CWOZ- EXISTING WATER QUALITY ZONE
 - LOC- LIMITS OF CONSTRUCTION
 - WTLD- EXISTING WETLANDS

Water Quality Pond Calculations (Eqns from 1.6.10.A)

SEDIMENTATION POND CALCULATIONS FOR DEVELOPMENT PERMITS

Drainage Area Data

Drainage Area to Control	464,785 sq. ft.
Drainage Area Impervious Cover	315,396 sq. ft.
Capture Depth (0.5"*(IC-20)/100):	0.979 in.

Water Quality Control Calculations

Site Area Draining to Pond	464,785 ac.
Total Area Draining to Pond	464,785 ac.
Design Peak Flow Rate	59.82 cfs

Water Quality Volume

Water Quality Volume (CD*area)	37,903 cu. ft.	38,349 cu. ft.
Sand Filter Pond Volume (>20%WQV)	7,561 cu. ft.	17,247 cu. ft.
Sand Filter Pond Area (Eqn 1.8.5.A.1)	3,251 sq. ft.	3,316 sq. ft.

Water Quality Elevation

Elevation of Splitter/Overflow Weir	450.60 ft.
Length of Splitter Weir	75 ft.
Required Head to Pass Design Flow	0.40 ft.
Sedimentation Pond Freeboard Provided	0.00 ft.

Stage (ft.)	Area (sq. ft.)	Storage (cu. ft.)	Cumulative Volume (cu. ft.)
447.2	3,316	0	0
447.5	3,655	1,046	1,046
448	4,140	1,947	2,993
448.5	4,637	3,239	5,169
449	5,146	4,392	7,631
449.5	5,677	5,943	10,335
450	6,225	7,366	13,309
450.5	6,793	9,198	16,562
450.6	6,909	8,051	17,247

Stage (ft.)	Area (sq. ft.)	Storage (cu. ft.)	Cumulative Volume (cu. ft.)
447.8	2	0	0
448	2,451	132	132
448.5	6,213	550	682
449	12,215	4,676	5,228
449.5	17,193	7,864	12,542
450	22,806	14,658	22,502
450.5	28,874	20,760	35,398
450.6	30,152	17,589	38,349

WATER QUALITY POND CALCULATIONS

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 15 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION: XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-S-81, LDC) CASE MANAGER XXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ _____ DOZ _____

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: NAB/CEA	DATE: JANUARY, 2018
DRAWN BY: JLC	REVISION: NO.
CHECKED BY: PAB/TPB	
APPROVED BY: SAS	

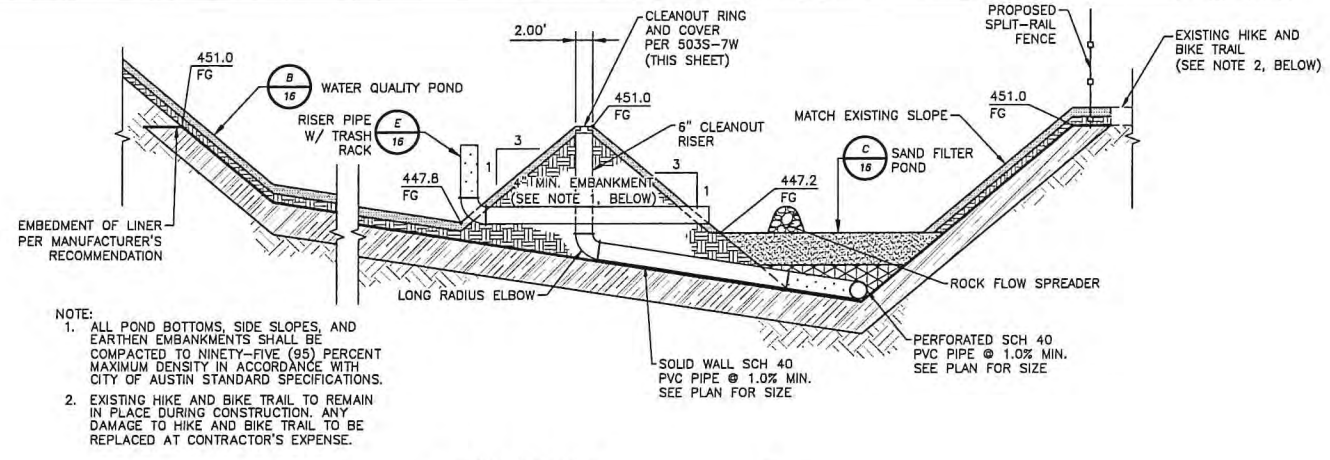
ATKINS
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 AUSTIN, TEXAS 78758 - (512) 327-8640
 TBPE REG. NO. F-474

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

WATER QUALITY POND PLAN AND CALCULATIONS

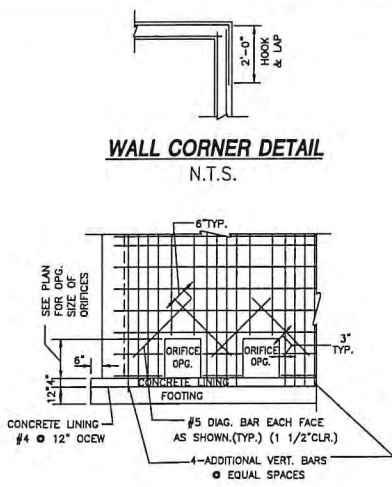
SHEET NO. 15
 OF 21 SHEETS

FILE NO. 53691-11-POND
 PROJECT NO. 100053691
 SP-XXXX-XXXXX

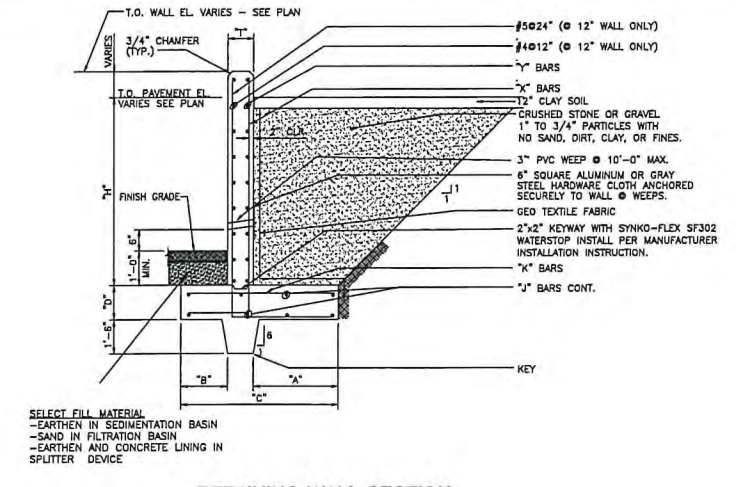


NOTE:
 1. ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT MAXIMUM DENSITY IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATIONS.
 2. EXISTING HIKE AND BIKE TRAIL TO REMAIN IN PLACE DURING CONSTRUCTION. ANY DAMAGE TO HIKE AND BIKE TRAIL TO BE REPLACED AT CONTRACTOR'S EXPENSE.

POND SECTION
 N.T.S.



ORIFICE OPENING FOR UNDERDRAIN DETAIL
 N.T.S.

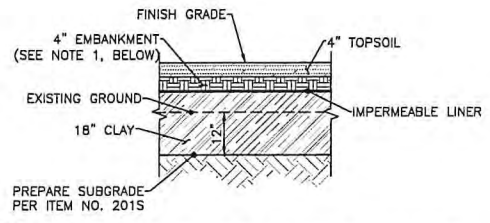


RETAINING WALL SECTION
 N.T.S.

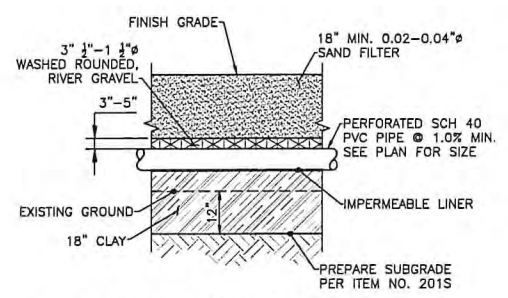
RETAINING WALL SCHEDULE

H (MAX)	T	A	B	C	D	E	F	G	H	I	J	K	L
4 FT.	8"	1'-5"	10'	3'-0"	12'	#4012"	#3012"	6-#4	#4012"				

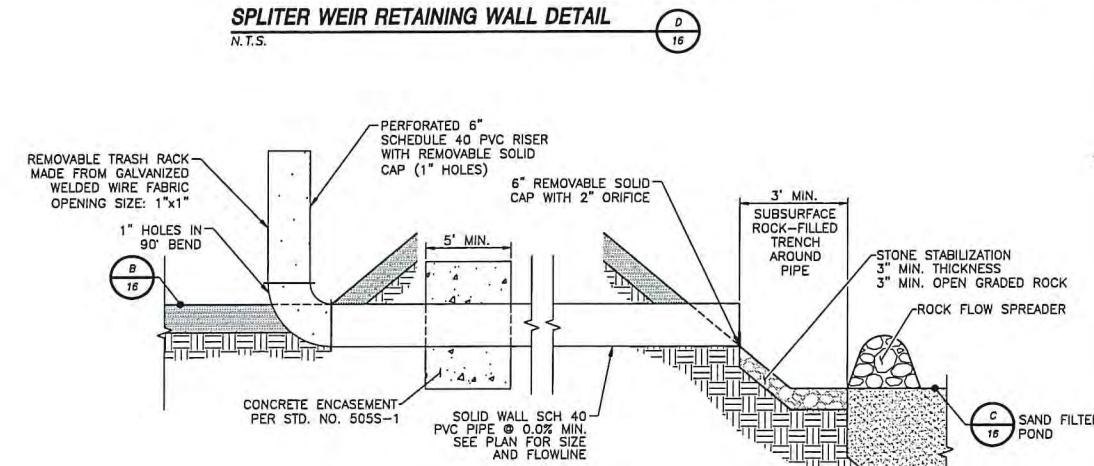
NOTE:
 1. WHERE A CHANGE IN THE THICKNESS OF THE RETAINING WALL OCCURS, THE STEP SHALL OCCUR ON THE SOIL SIDE OF THE WALL.
 2. PROVIDE A SMOOTH FORMED AND RUBBED FINISH AT EXPOSED FACE OF RETAINING WALLS.
 3. FOOTINGS SHALL BE FOUND A MINIMUM OF 1'-0" INTO EXISTING UNDISTURBED GRADE.
 4. EVERY OTHER VERTICAL "X" BAR CAN BE TERMINATED AT MID-HEIGHT OF WALL.
 5. CONSTRUCT CONTROL JOINTS (3/4" CHAMFER) SPACING CENTER TO CENTER EQUAL TO "H".
 6. CONCRETE RETAINING WALLS SHALL HAVE VERTICAL CONTRACTION JOINTS WITH SPACING NOT TO EXCEED WALL HEIGHT.
 7. ALL CONCRETE JOINTS SHALL HAVE APPROVED WATERSTOP.
 8. CONCRETE SHALL HAVE 4,000 PSI 28-DAY COMPRESSIVE STRENGTH.
 9. EXTERNALLY EXPOSED CONCRETE SURFACES SHALL HAVE A DECORATIVE TEXTURE AND TINTING IN EARTHEN COLORS AS APPROVED BY THE ENGINEER.



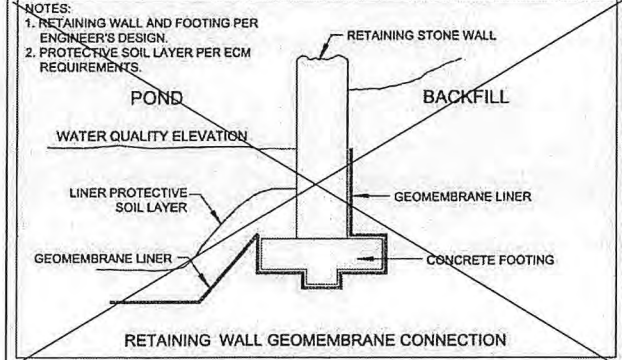
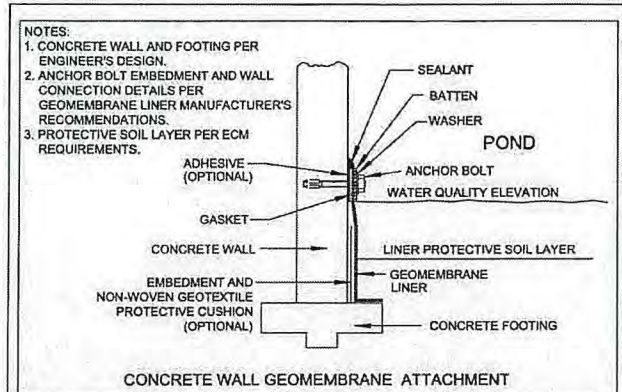
WATER QUALITY POND LINER SECTION
 N.T.S.



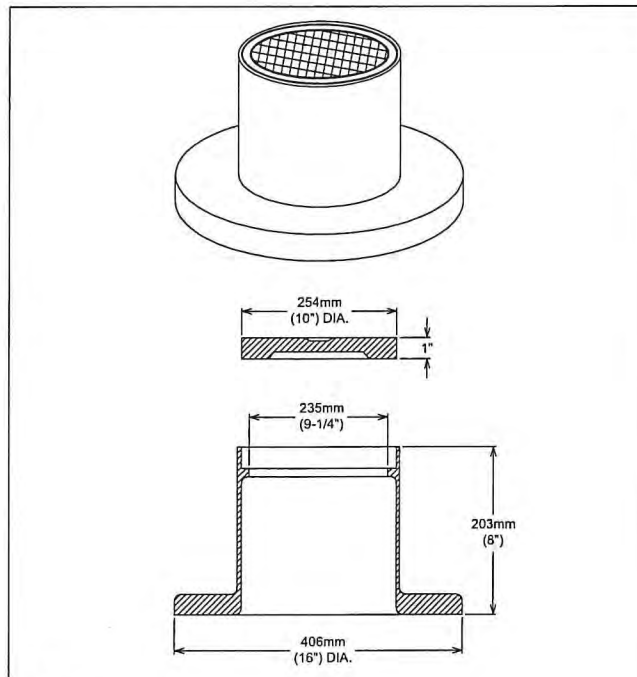
SAND FILTER POND SECTION
 N.T.S.



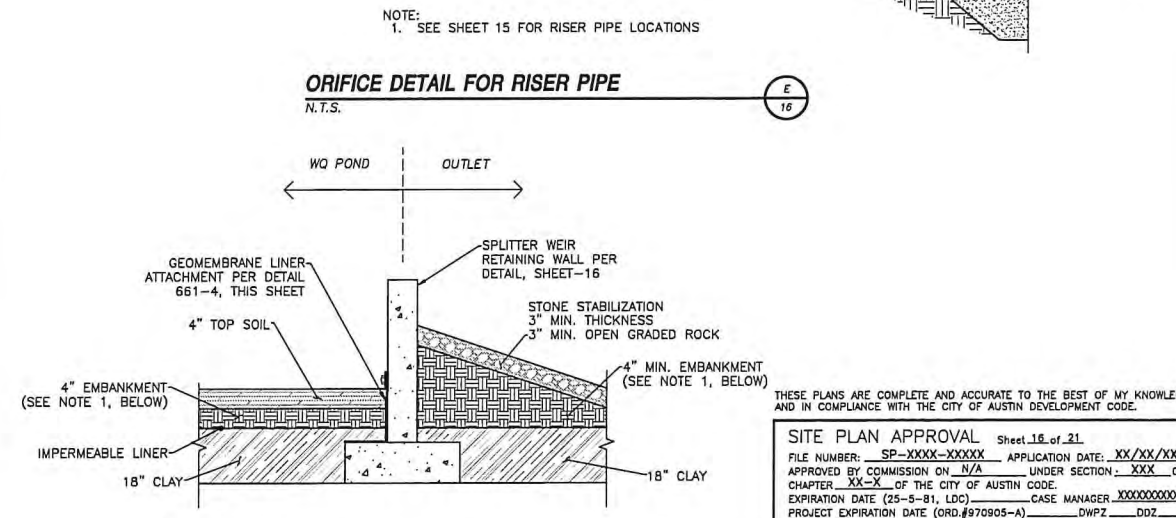
SPLITTER WEIR RETAINING WALL DETAIL
 N.T.S.



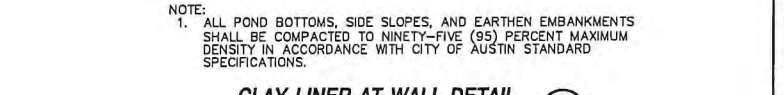
CITY OF AUSTIN
 WATERSHED PROTECTION DEPARTMENT
 GEOMEMBRANE LINER ATTACHMENT DETAILS
 STANDARD NO. 661-4
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



CITY OF AUSTIN
 AUSTIN WATER UTILITY
 CLEANOUT RING AND COVER
 STANDARD NO. 5035-7W
 RECORD COPY SIGNED BY KATHI L. FLOWERS 06/01/10
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



ORIFICE DETAIL FOR RISER PIPE
 N.T.S.



CLAY LINER AT WALL DETAIL
 N.T.S.

NOTE:
 1. ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT MAXIMUM DENSITY IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATIONS.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 16 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION: XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2 _D02_

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

NO.	REVISION	DATE	BY

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: JANUARY, 2018

ATKINS
 11801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (512) 327-6840
 TBP REG. NO. F-474

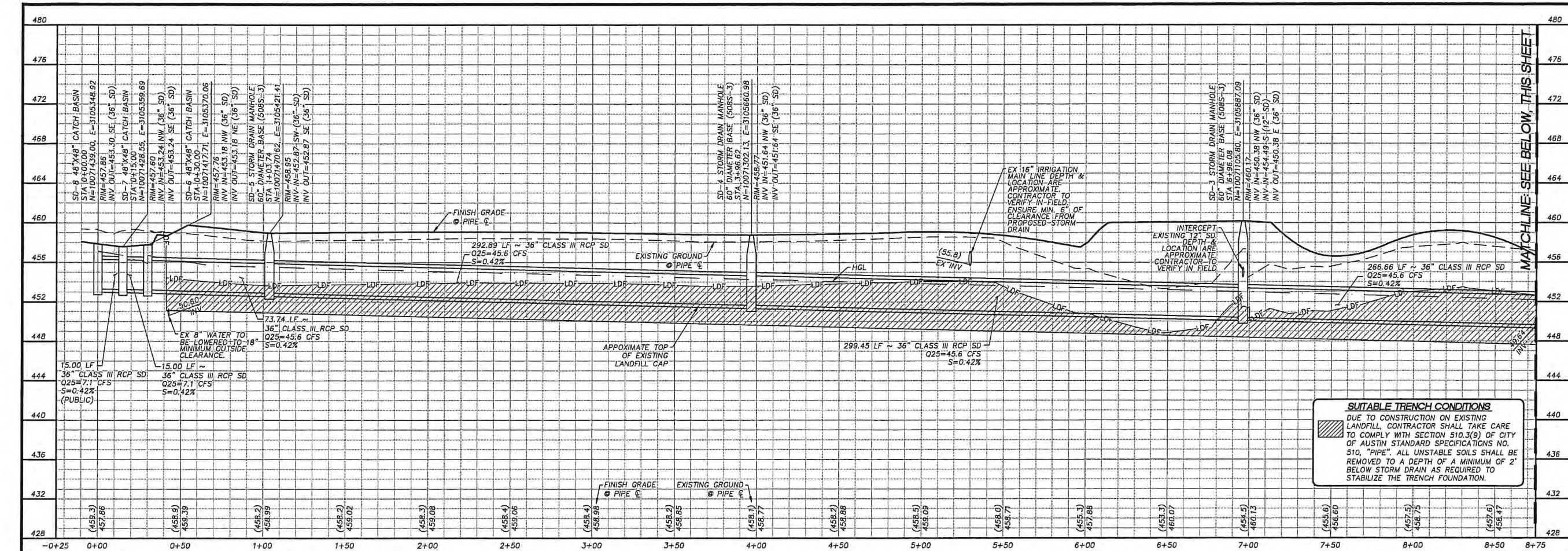


ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

WATER QUALITY POND DETAILS
 SHEET NO. 16
 OF 21 SHEETS

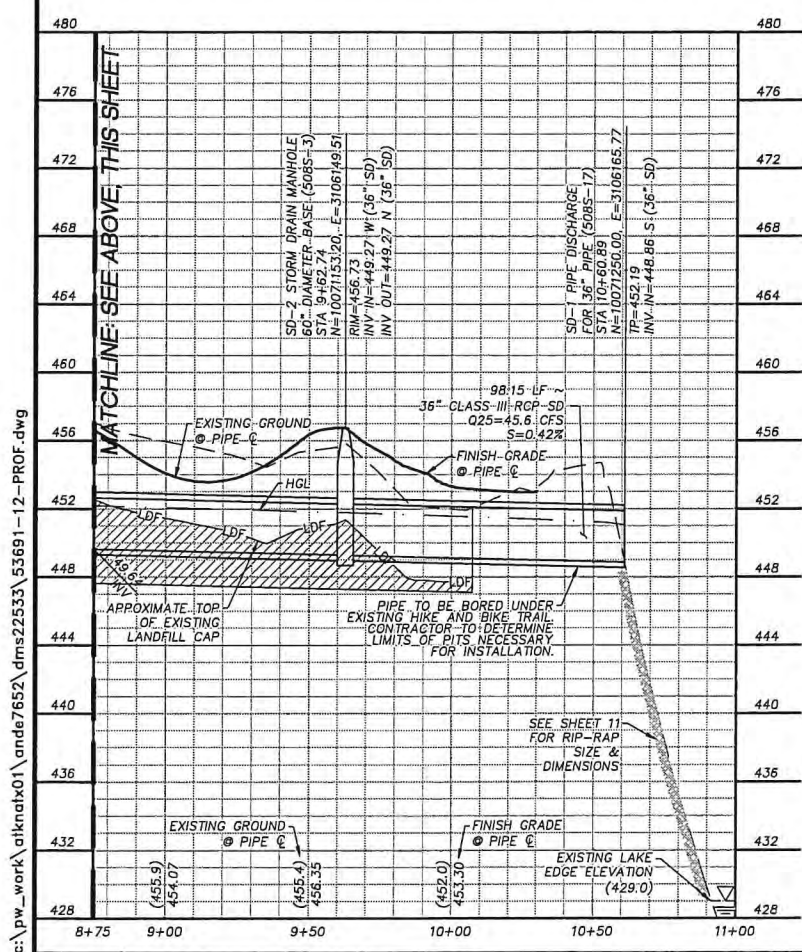
FILE NO. 53691-11-POND
 PROJECT NO. 100053691
 SP-XXXX-XXXXX

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DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: JANUARY, 2018

NO.	REVISION	BY	DATE



NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- BACKFILL SHALL COMPLY WITH SECTION 510.3 (25) OF CITY OF AUSTIN STANDARD SPECIFICATION ITEM NO. 510, "PIPE."
- CONTRACTOR SHALL VERIFY INVERT AND LOCATION OF EXISTING UTILITY BEFORE CONSTRUCTION. CONTRACTOR SHALL MAINTAIN AN 18" MINIMUM VERTICAL CLEARANCE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE FOR ALL UTILITY CROSSINGS, UNLESS OTHERWISE NOTED.
- ALL TRASH REMOVED TO BE TRANSPORTED OFFSITE TO EXISTING LANDFILL.

STORM DRAIN STRUCTURES IN STONE AREA
 N.T.S.

NOTE:
 1. PROVIDE AT THE FOLLOWING STRUCTURES: SD-4 AND SD-5

SEE SHEET 11 FOR RIP-RAP SIZE & DIMENSIONS

EXISTING LAKE EDGE ELEVATION (429.0)

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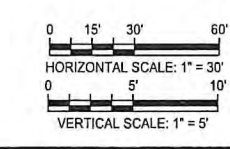
ATKINS
 1801 DOMIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78788 - (512) 372-6640
 TBP REG. NO. F-474

**ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS**

STORM DRAIN PROFILE

SHEET NO. 17
 OF 21 SHEETS

FILE NO. 53691-12-PROF
 PROJECT NO. 100053691

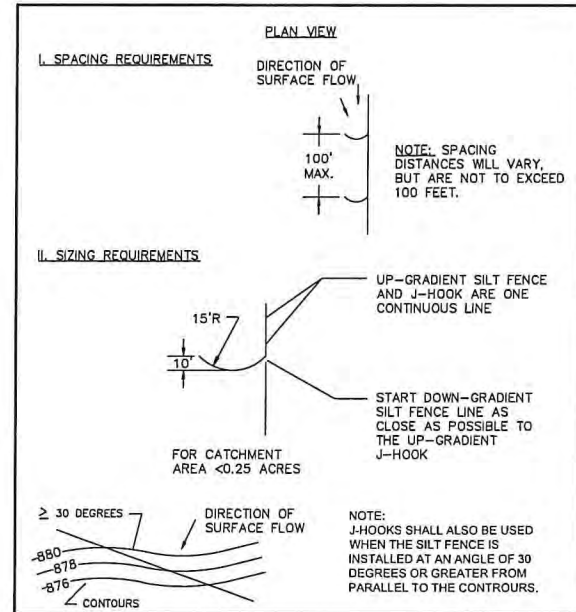
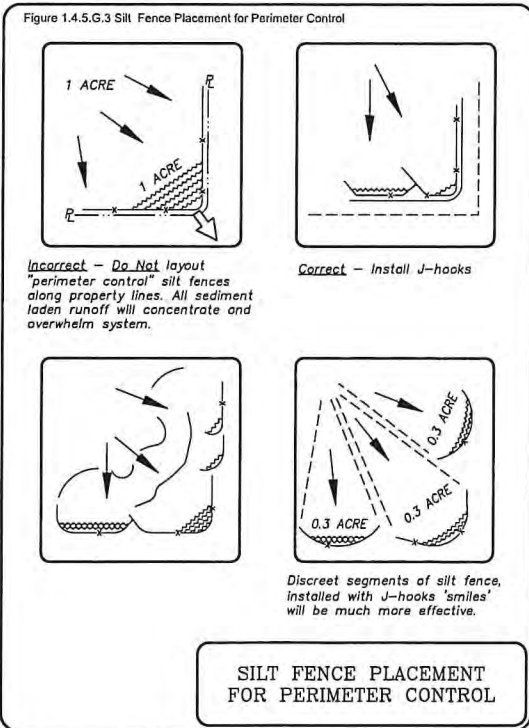
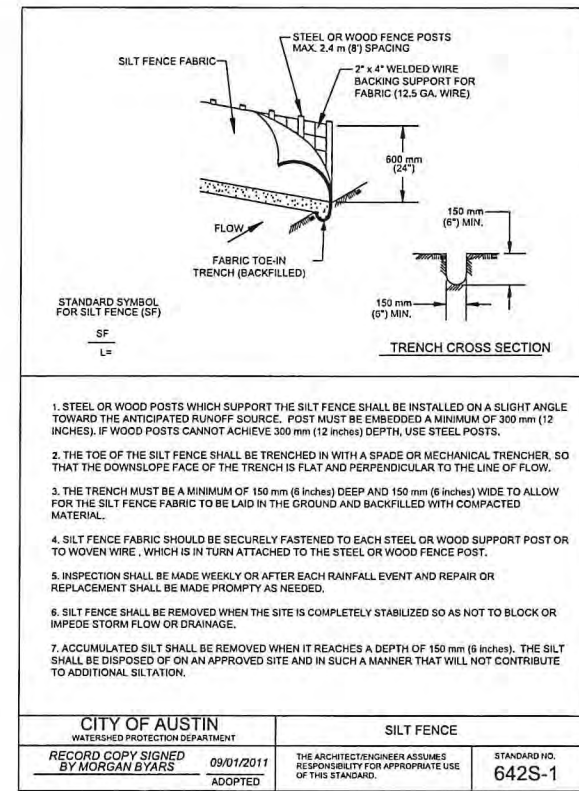
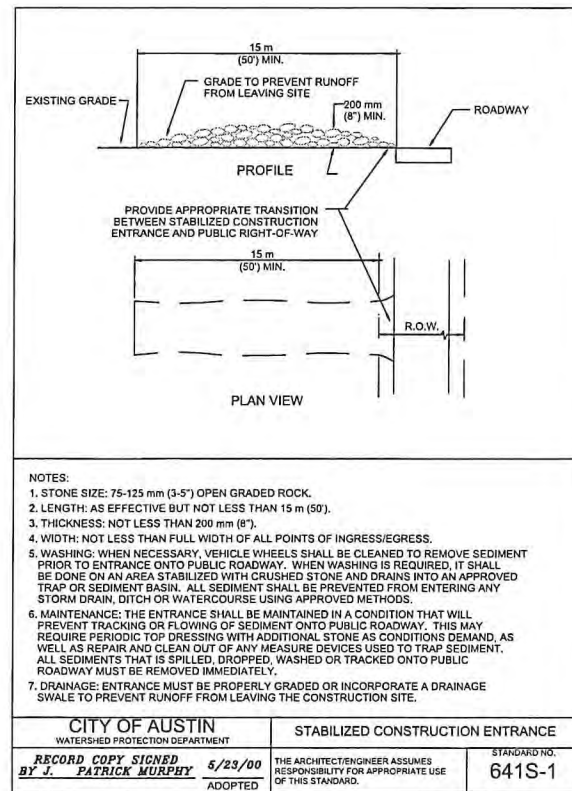
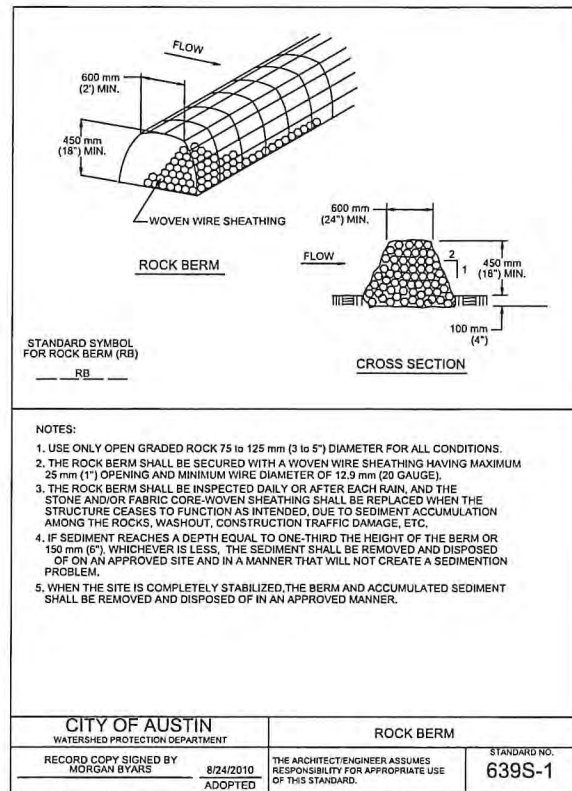
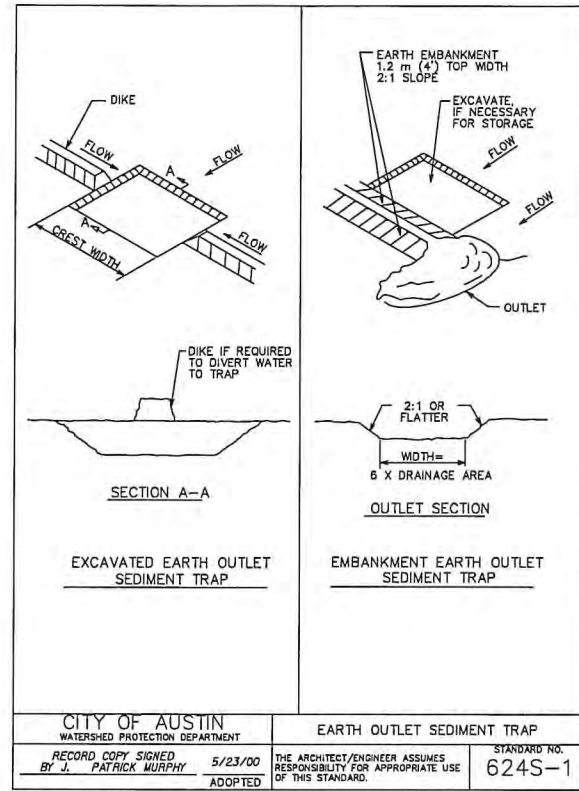


THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 17 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
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 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ _____

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



INSTALLATION:
THE CONTRACTOR SHALL PUMP MUDDY WATER ENCOUNTERED WITHIN EXCAVATED AREAS INTO A FILTER FABRIC BAG. THE BAG SHALL BE PLACED WITHIN A LEVEL UNDISTURBED AREA AS FAR AWAY FROM THE STORMWATER OUTFALL AS POSSIBLE. THE BAG SHALL BE PLACED ON TOP OF AN AGGREGATE PAD. ADDITIONALLY, A PERIMETER AGGREGATE BERM SHALL BE CONSTRUCTED AROUND THE BAG. PERIMETER CONTROLS SUCH AS SILT FENCE SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE BAG. THE PERIMETER CONTROLS SHALL BE INSTALLED TO ENSURE THAT THE WATER FLOWING OUT OF THE BAG DOES NOT FLOW AROUND THE ENDS OF THE CONTROLS. UPON COMPLETION, THE BAG SHALL BE REMOVED TO AN AREA AWAY FROM THE STORM WATER OUTFALL AND OPENED. THE ACCUMULATED SEDIMENTS SHALL BE SPREAD OUT TO ALLOW TO DRY AND STABILIZED WITH VEGETATION. FILTER BAG SHALL BE JMD ENVRO-PROTECTION FILTER BAG, SIZE IS 15' x 15' OR EQUAL.

MAINTENANCE:
THE FILTER BAG SHALL BE REPLACED WHEN THE BAG IS HALF FILLED WITH SEDIMENT.

THE CONTRACTOR SHALL CONTACT THE PROJECT INSPECTOR/ENGINEER FOR CONSULTATIVE SERVICES IF DEWATERING ACTIVITIES OVERWHELM THE FILTER BAG AND PERIMETER CONTROLS.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 18 of 21

FILE NUMBER: SP-XXXX-XXXXXX APPLICATION DATE: XX/XX/XX

APPROVED BY COMMISSION ON N/A UNDER SECTION: XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXX

PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2 DD2

Director, Development Review Department

RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

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ATKINS
11801 DOMINION BOULEVARD, SUITE 600
AUSTIN, TEXAS 78758 • (512) 327-8840
TBPB REG. NO. F-474

DESIGNED BY: NAB/CEA
DRAWN BY: JLC
CHECKED BY: PAB/TRB
APPROVED BY: SAS
DATE: JANUARY, 2018

ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

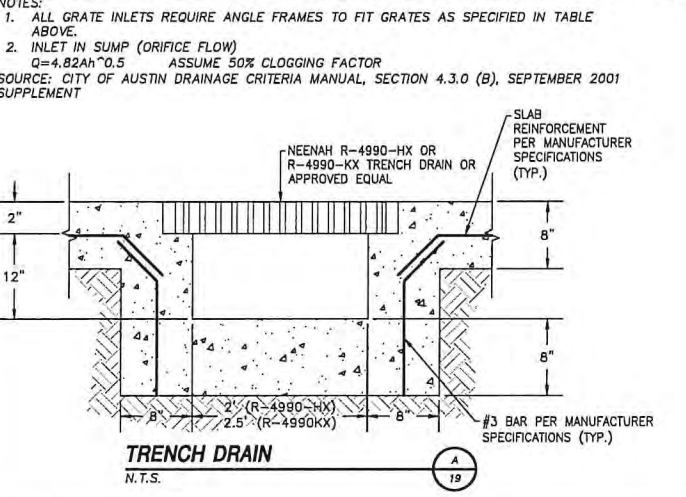
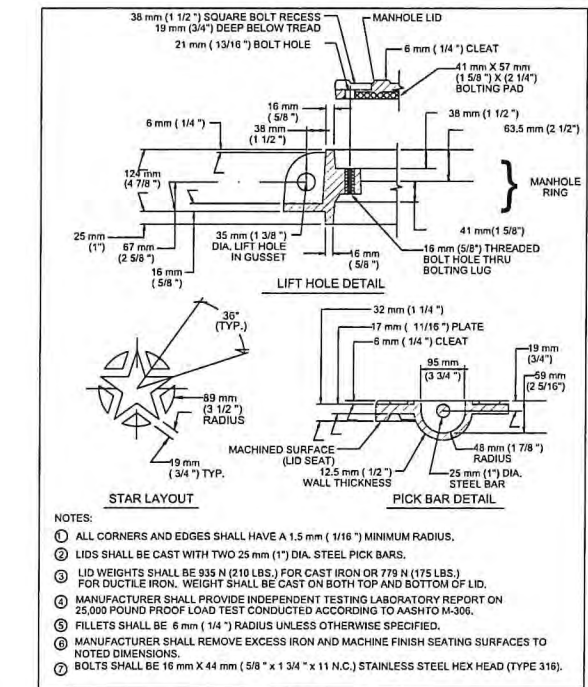
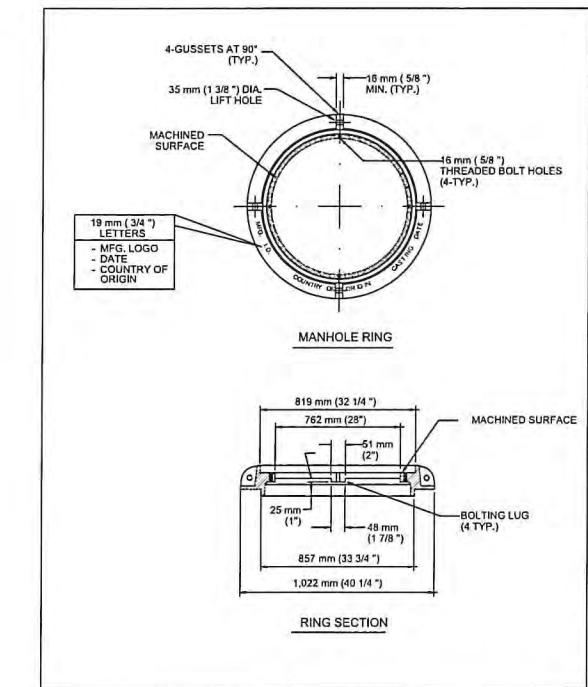
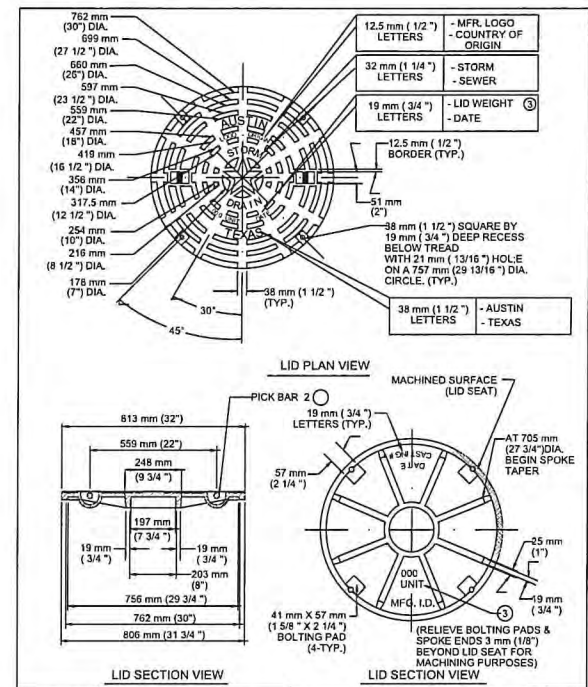
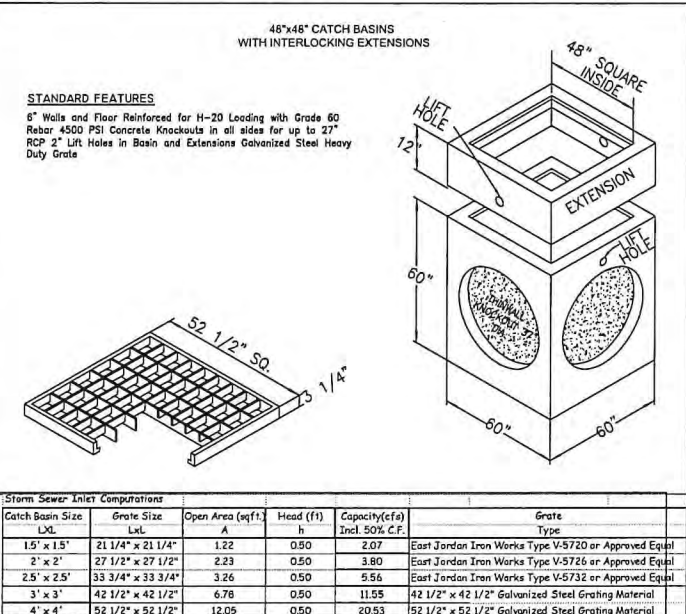
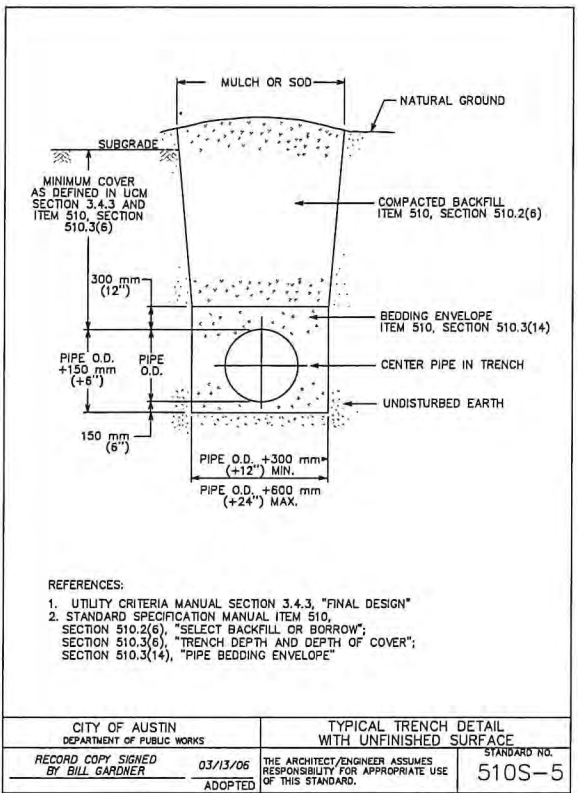
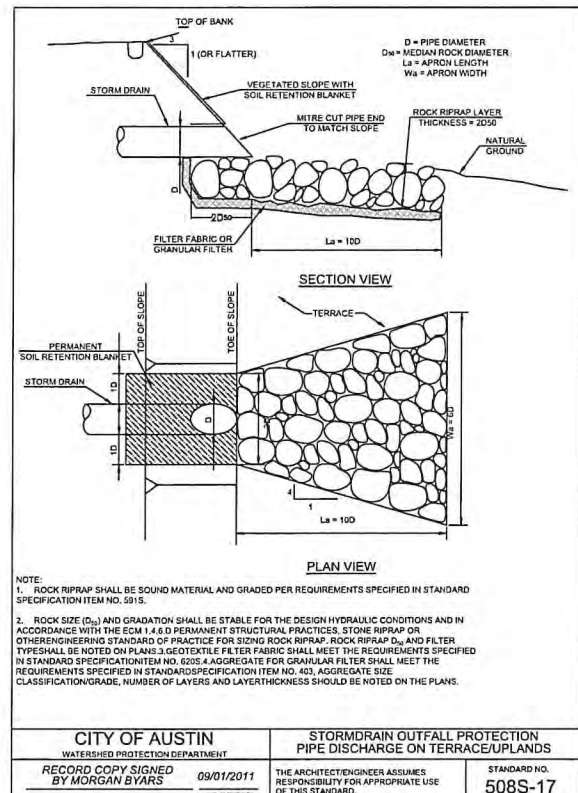
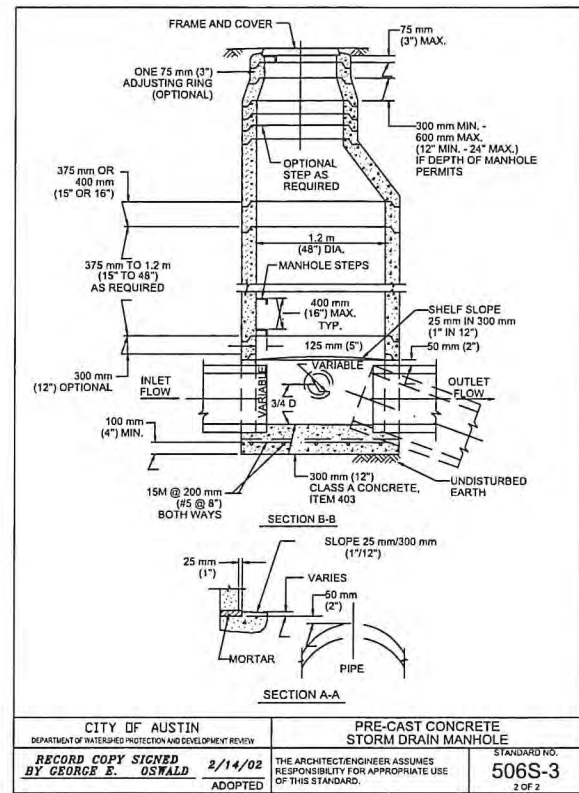
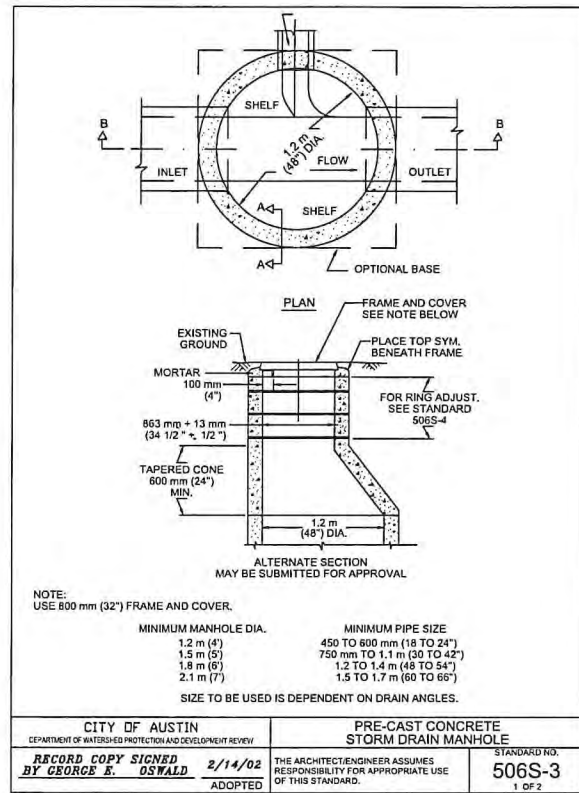
EROSION AND SEDIMENTATION CONTROL DETAILS

SHEET NO. 18 OF 21 SHEETS

FILE NO. 53691-13-DETL
PROJECT NO. 100053691

SP-XXXX-XXXXX

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CITY OF AUSTIN
DEPARTMENT OF WATERSEWER PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 503S-5S
1 OF 3

CITY OF AUSTIN
DEPARTMENT OF WATERSEWER PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 503S-5S
2 OF 3

CITY OF AUSTIN
DEPARTMENT OF WATERSEWER PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 503S-5S
3 OF 3

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 18 of 21
FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
APPROVED BY COMMISSION ON N/A UNDER SECTION: XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) CASE MANAGER: XXXXXXXXXXXX
PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2.D02

Director, Development Review Department
RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

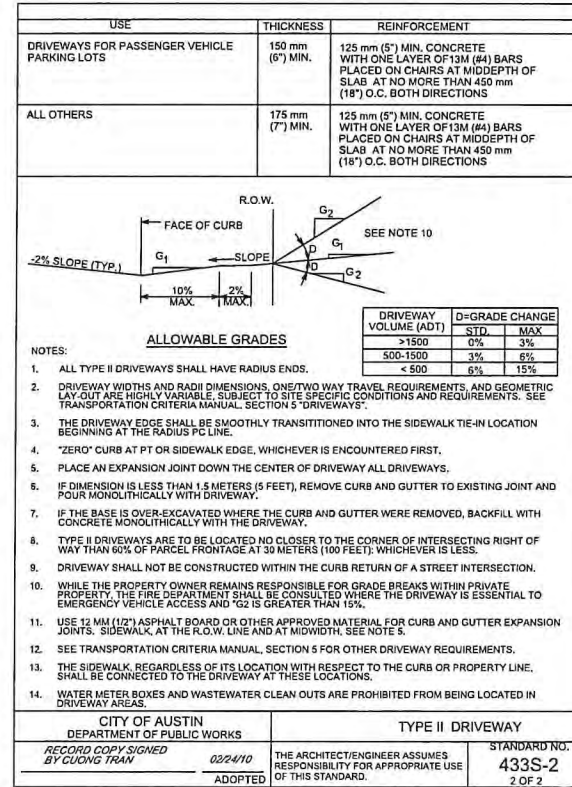
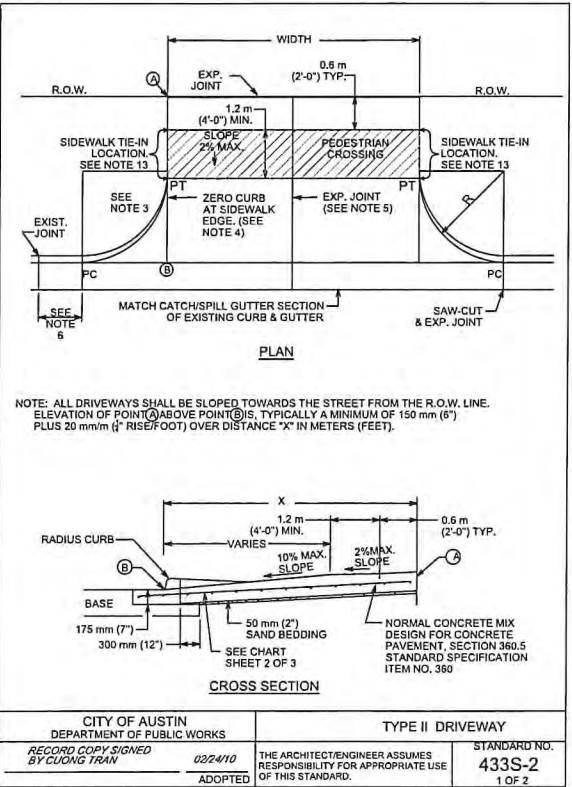
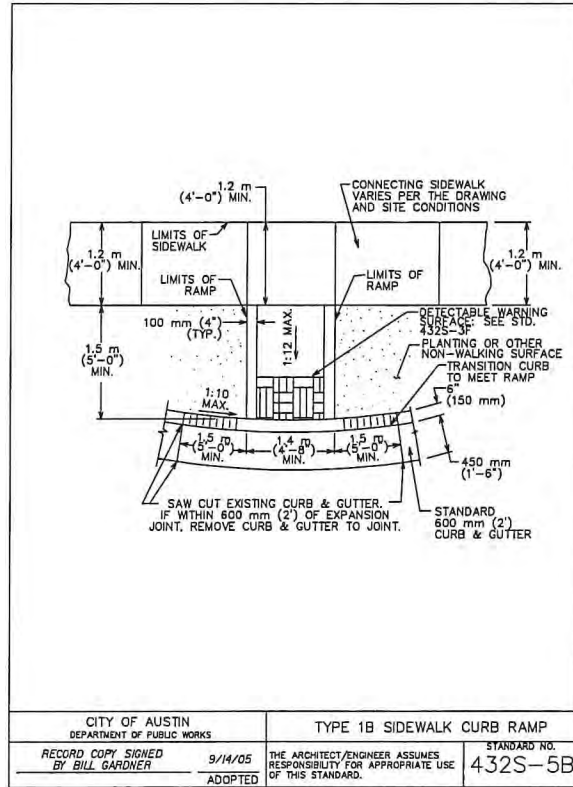
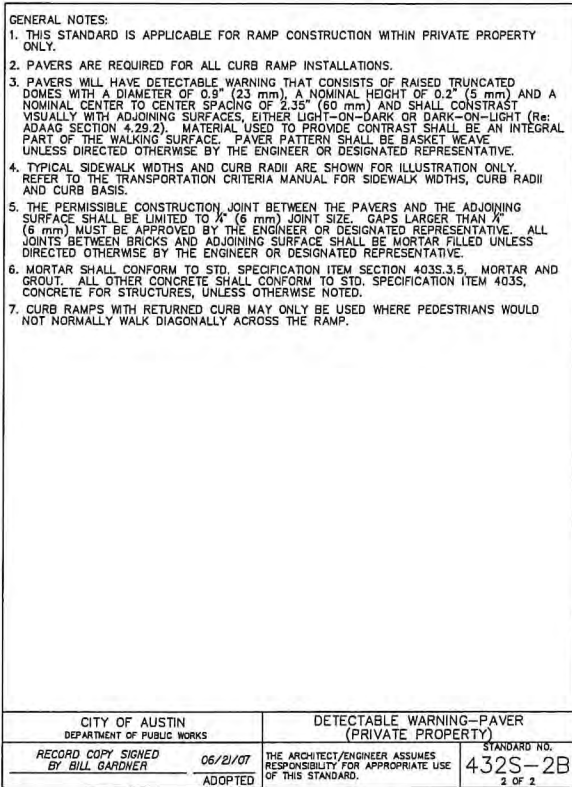
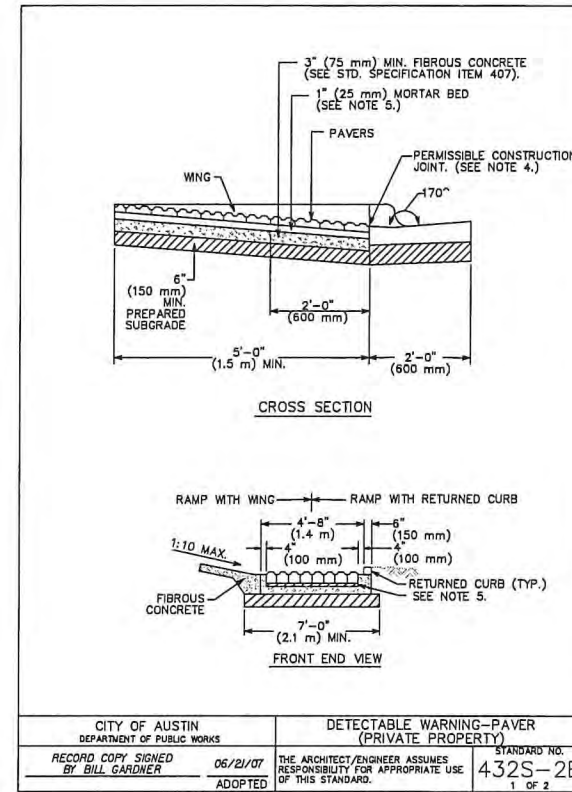
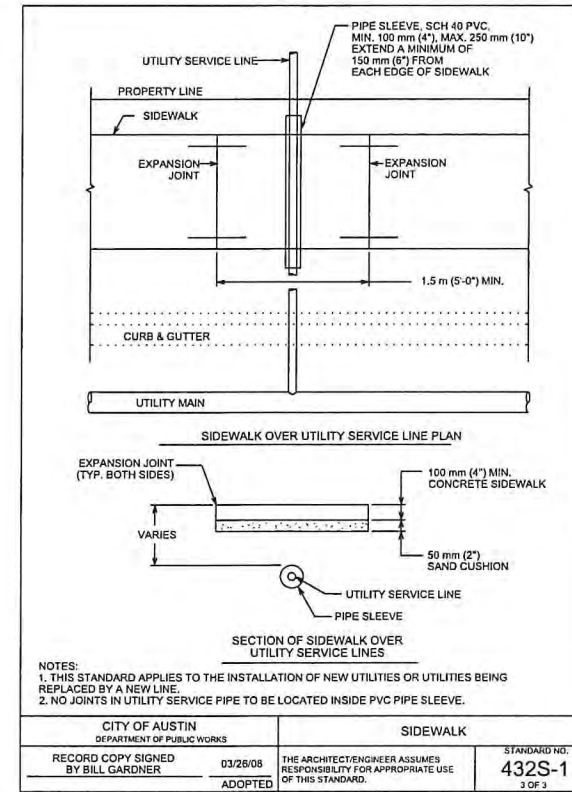
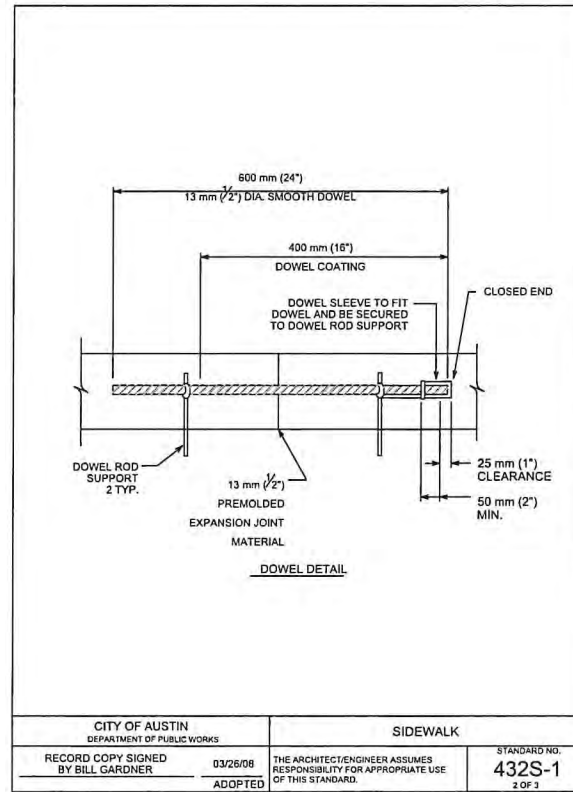
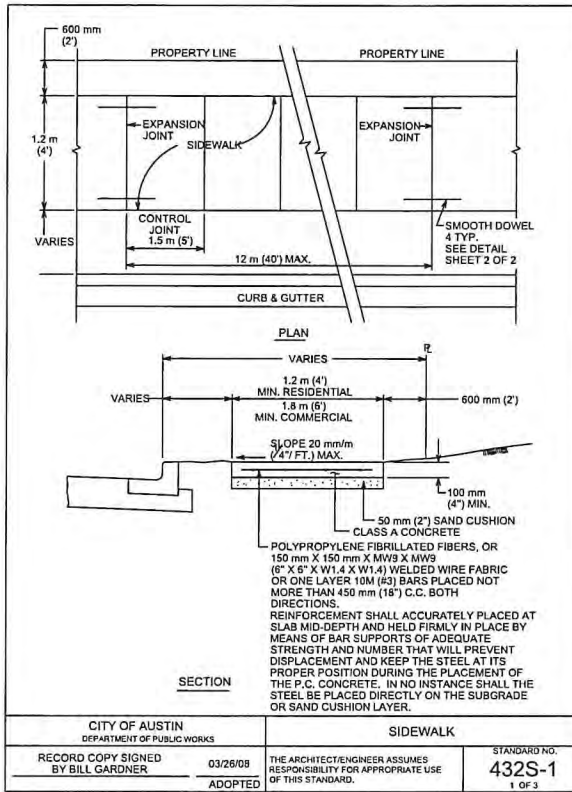
DESIGNED BY: NAB/CEA
DRAWN BY: JLC
CHECKED BY: PAB/TPB
APPROVED BY: SAS
DATE: JANUARY, 2018

ATKINS
1801 DOMINION BOULEVARD, SUITE 900
AUSTIN, TEXAS 78788 • (512) 327-6840
TXPE REG. NO. 1-174

ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS
DRAINAGE DETAILS

SHEET NO. 19
OF 21 SHEETS

FILE NO. 53691-13-DETL
PROJECT NO. 100053691
SP-XXXX-XXXXX



THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 22 of 21
FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
APPROVED BY COMMISSION ON N/A UNDER SECTION XXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) CASE NUMBER XXXXXXXXXX
PROJECT EXPIRATION DATE (ORD #970905-A) DWPZ.DDZ

Director, Development Review Department
RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1
Rev. 2 _____ Correction 2
Rev. 3 _____ Correction 3

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: NAB/CEA
DRAWN BY: JLC
CHECKED BY: PAB/TPB
APPROVED BY: SAS
DATE: JANUARY, 2018

REVISION

NO.

BY DATE

ATKINS
16881 DOMAN BOULEVARD SUITE 800
AUSTIN, TEXAS 78758-1510 | 512.788.6840
TBBE REG. NO. F-474

01/05/18

ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

SITE DETAILS

SHEET NO. 20
OF 21 SHEETS

FILE NO. 53691-13-DETL
PROJECT NO. 100053691

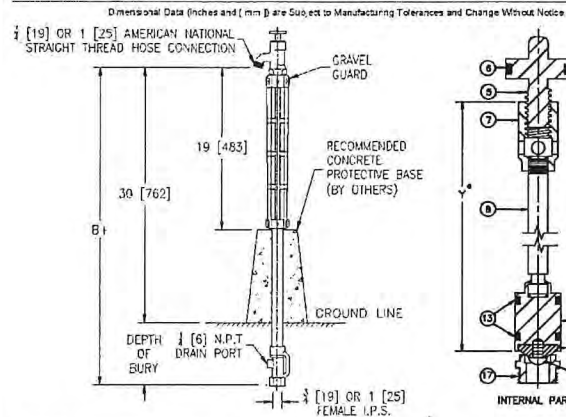
SP-XXXX-XXXXX

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Z1385
POST HYDRANT
Exposed Head, Non-Freeze

SPECIFICATION SHEET
TAG _____



Depth of Bury Feet	B+ Den. Feet	Approx. Wt. Lbs. (kg)
2 [610]	4 1/2 [1372]	25 [11]
3 [914]	5 1/2 [1676]	26 [13]
4 [1218]	6 1/2 [1681]	33 [15]
5 [1524]	7 1/2 [2086]	37 [17]
6 [1829]	8 1/2 [2591]	41 [19]
7 [2134]	9 1/2 [2896]	45 [20]
8 [2438]	10 1/2 [3200]	49 [22]
9 [2743]	11 1/2 [3505]	54 [24]
10 [3048]	12 1/2 [3810]	58 [25]

ENGINEERING SPECIFICATION: ZURN Z1385
Exposed, non-freeze post hydrant. Complete with galvanized steel casing and cast aluminum casing guard, all bronze interior parts, bronze seal and replaceable seat washer, and non-turning operating rod with free-floating compression closure valve with 3/4 [19] or 1 [25] connection. Operating key included. Hydrant is equipped with a tapped 1/4 [6] drain port in valve housing.

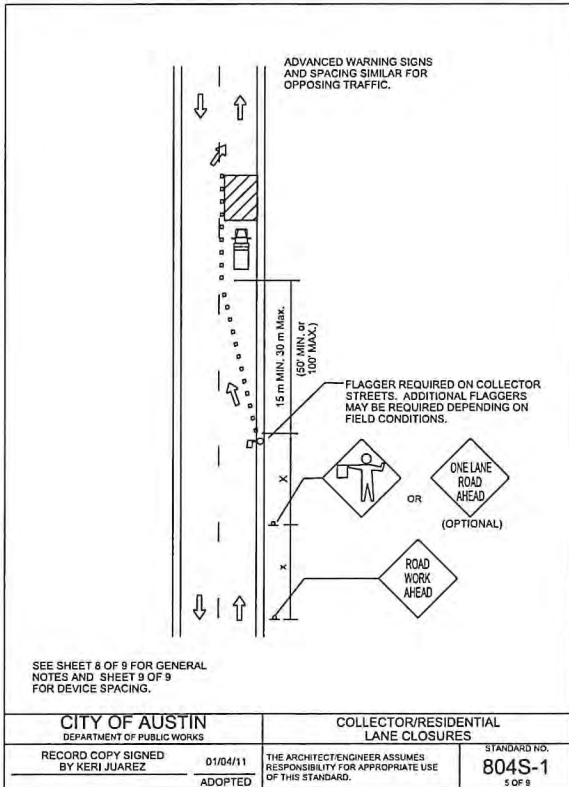
- Note:
1. 'B' dim. based on outlet connection 30 [762] above ground.
2. IMPORTANT! Hydrant must be opened one turn to seal drain port during use.

CONNECTION TYPE:	Item	Name	Quan.
3/4 [19] Hose Connection	1	Operating Screw	1
	2	O-Ring	1
1 [25] Hose Connection	3	Operating Coupling	1
	4	Operating Rod	1
	5	Seat Washer	1
	6	Washer (optional)	1
	7	Screw	1
	8	O-Ring	2
	9	Removable Seal	1

SUFFIXES (Check/specify appropriate options)
 -BC Bronze Casing
 -RK Hydrant Parts Repair Kit
 -VB 3/4 [19] Adapter Vacuum Breaker
 -WH Wheel Handle

REV. G DATE: 1/29/09 C.N. NO. 99633
 DWG. NO. 58882 PRODUCT NO. Z1385

ZURN INDUSTRIES, LLC • SPECIFICATION DRAINAGE OPERATION • 181 Pittsburgh Ave. • Erie, PA 16514
 Phone: 814-835-9221 • Fax: 814-834-1223 • World Wide Web: www.zurn.com
 In Canada: ZURN INDUSTRIES LIMITED • 3544 Neulse Drive • Mississauga, Ontario L4V 1L2 • Phone: 905-405-8272 Fax: 905-405-1222



CITY OF AUSTIN	COLLECTOR/RESIDENTIAL LANE CLOSURES	CITY OF AUSTIN	GENERAL NOTES
RECORD COPY SIGNED BY KERI JUAREZ	01/04/11 ADOPTED	RECORD COPY SIGNED BY KERI JUAREZ	01/04/11 ADOPTED
STANDARD NO. 804S-1	STANDARD NO. 804S-1	STANDARD NO. 804S-1	STANDARD NO. 804S-1
5 OF 9	5 OF 9	8 OF 9	8 OF 9

- ALL SETUPS SHALL BE IN ACCORDANCE WITH THE CURRENT ADDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL.
- TO DETERMINE APPROPRIATE DEVICES AND SIGN SIZES TO BE USED, REFER TO STANDARD 804S-5, SHEETS 5, 6 AND 7 OF 11.
- FOR INTERMEDIATE-TERM SITUATIONS, WHEN IT IS NOT FEASIBLE TO REMOVE AND RESTORE PAVEMENT MARKINGS, THE CHANNELIZATION MUST BE MADE DOMINANT BY USING A VERY CLOSE DEVICE SPACING. THIS IS ESPECIALLY IMPORTANT IN LOCATIONS OF CONFLICTING INFORMATION, SUCH AS WHERE TRAFFIC IS DIRECTED OVER A DOUBLE YELLOW CENTERLINE. IN SUCH LOCATIONS, A MAXIMUM CHANNELIZING DEVICE SPACING OF 3 m (10') IS REQUIRED.
- FOR LONG TERM STATIONARY WORK, ALL CONFLICTING PAVEMENT MARKINGS MUST BE REMOVED AND CENTERLINE STRIPING PROVIDED WHERE TWO WAY TRAFFIC IS IN ADJACENT LANES.
- FOR TEMPORARY PAVEMENT MARKING REQUIREMENTS SEE STANDARD 804S-3.
- FOR ONE-WAY AND MULTI-LANE ROADWAYS THE "LANE BLOCKED" SIGN MAY BE USED IN LIEU OF THE "LANE CLOSED AHEAD" SIGN. THE NUMBER OF DIGITS ON THE SIGN SHALL NOT BE GREATER THAN THE NUMBER OF LANES PRESENT ON THE ROADWAY. THE "X" SHALL BE PLACED UNDER THE NUMBER OF LANE(S) BLOCKED.
- FOR FLAGGING OPERATION REQUIREMENTS SEE STANDARD 804S-2.
- CONTRACTOR SHALL PROVIDE SIDEWALK CLOSURES, CROSSWALK CLOSURES OR WALKWAY BYPASS WHEREVER PEDESTRIAN MOVEMENTS ARE AFFECTED BY CONSTRUCTION ACTIVITIES. ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS APPROVED BY THE TRANSPORTATION DIVISION.
- FOR EXCAVATION PROTECTION AND SAFETY FENCE REQUIREMENTS SEE STANDARD 804S-4.
- THE USE OF ARROW DISPLAYS ARE REQUIRED ON ALL LANE CLOSURES. THE CONTRACTOR SHALL PROVIDE ONE (1) STANDBY UNIT IN GOOD WORKING CONDITION AT THE JOB SITE, READY FOR USE IF THE OPERATION REQUIRES 24-HOUR A DAY LANE CLOSURE SET-UPS.

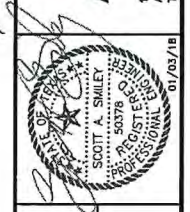
Typical Transition Lengths and Suggested Maximum Spacing of Devices

Speed KMPH	Posted Speed MPH	Formula	3.6(10) Offset Meters (feet)	3.3(11) Offset Meters (feet)	3.6(12) Offset Meters (feet)	On a taper Meters (feet)	On a tangent Meters (feet)	Suggested Max. Device Spacing	"X" Sign Dimension
50	30	L=WS ² /60	45 (150)	50 (165)	55 (180)	9 (30)	15-20 (50-75)	40 (120)	
55	35		65 (205)	70 (225)	75 (245)	10 (35)	25-25 (70-90)	50 (160)	
65	40	L=WS	80 (265)	90 (295)	100 (330)	12 (40)	25-30 (80-100)	75 (240)	
70	45		135 (450)	150 (495)	165 (540)	13 (45)	25-30 (80-110)	100 (320)	
80	50	L=WS	150 (500)	165 (550)	180 (600)	15 (50)	30-35 (100-125)	120 (400)	
90	55		165 (550)	185 (605)	200 (660)	16 (55)	35-40 (110-140)	150 (500)	
95	60	L=WS	180 (600)	200 (660)	220 (720)	18 (60)	40-45 (120-150)	180 (600)	
105	65		195 (650)	215 (715)	235 (780)	18 (65)	40-50 (130-165)	210 (700)	
115	70	L=WS	215 (700)	235 (770)	255 (840)	21 (70)	45-55 (140-175)	240 (800)	
			215 (700)	235 (770)	255 (840)	21 (70)	45-55 (140-175)	240 (800)	

LEGEND:
 □ Channelizing devices
 □ Trailer mounted flashing arrow board
 □ Flagger

CITY OF AUSTIN	DEVICE SPACING	CITY OF AUSTIN	GENERAL NOTES
RECORD COPY SIGNED BY KERI JUAREZ	01/04/11 ADOPTED	RECORD COPY SIGNED BY KERI JUAREZ	01/04/11 ADOPTED
STANDARD NO. 804S-1	STANDARD NO. 804S-1	STANDARD NO. 804S-1	STANDARD NO. 804S-1
8 OF 9	8 OF 9	8 OF 9	8 OF 9

DESIGNED BY: MAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: JANUARY, 2018



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 UTILITY AND TRAFFIC CONTROL DETAILS

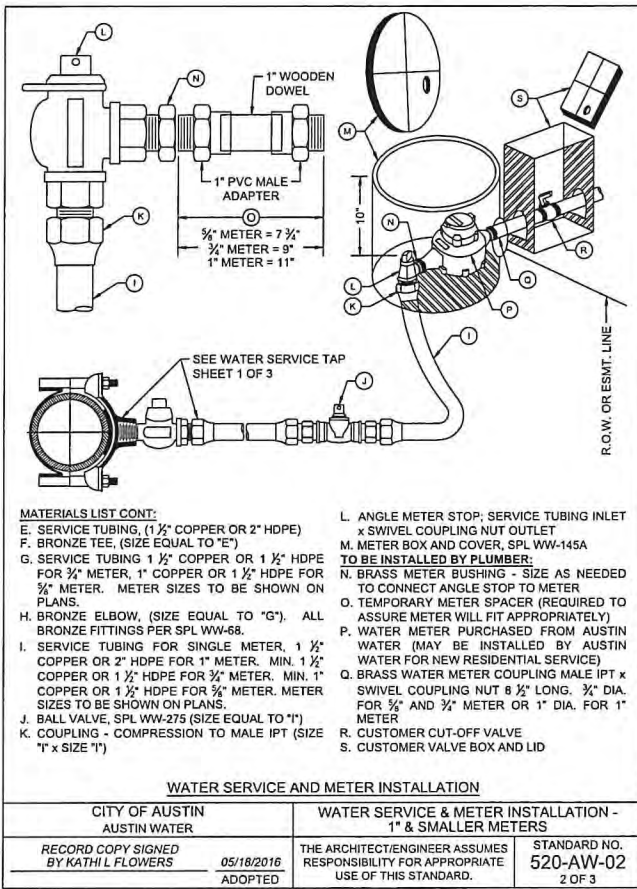
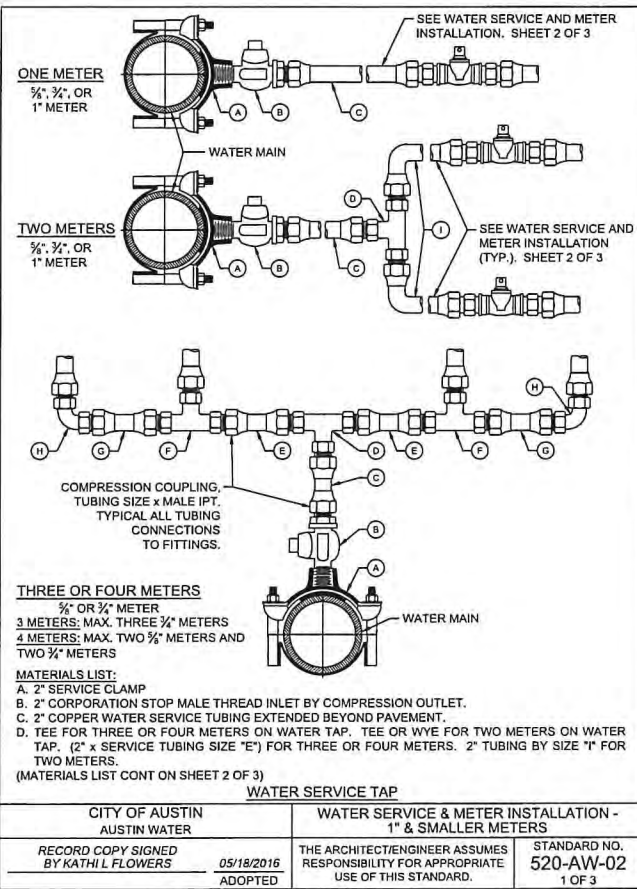
THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 21 of 21
 FILE NUMBER: SP-XXXX-XXXXX APPLICATION DATE: XX/XX/XX
 APPROVED BY COMMISSION ON N/A UNDER SECTION XXXX OF CHAPTER XX-X OF THE CITY OF AUSTIN CODE.
 PROJECT EXPIRATION DATE (25-5-81, LDC) CASE MANAGER XXXXXXXXXXXX
 PROJECT EXPIRATION DATE (ORD #970905-A) DWPZ DDZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SHEET NO. 21 OF 21 SHEETS
 FILE NO. 53691-13-DETL
 PROJECT NO. 100053691
 SP-XXXX-XXXXX



NOTES:

- SERVICE CLAMP SHALL BE WRAPPED COMPLETELY WITH 8 MIL. POLYETHYLENE FILM.
- BRANCH CONNECTIONS AND ALL ANGLE METER STOPS MUST BE INSTALLED PRIOR TO ANY METER INSTALLATION.
- TOP OF BOXES SHOULD BE 1" ABOVE GROUND.
- PIPING AND TUBING IN STREET RIGHT-OF-WAY SHALL BE BEDDED IN GRANULAR MATERIALS AS REQUIRED BY SECTION 510.3 (14) OF THE CITY OF AUSTIN STANDARD SPECIFICATIONS; BACKFILL ABOVE GRANULAR BEDDING AS REQUIRED BY SECTION 510.3 (25).
- BOX MUST BE BEHIND CURB NEXT TO PROPERTY LINE OR EASEMENT AND OUT OF VEHICULAR TRAFFIC AREA AND SIDEWALK.
- BALL VALVE "J" SHALL NOT BE LOCATED UNDER SIDEWALK, CURB, OR PAVEMENT, AND NOT BE LOCATED MORE THAN 24" HORIZONTALLY FROM METER BOX OR 36" BELOW FINAL GRADE.

COPPER:
 C1. COPPER SERVICE SHALL BE COPPER TUBING SIZE ANNEALED SEAMLESS TYPE "K" MEETING ASTM B88 WITH NO SWEAT OR SOLDERED JOINTS.

HDPE:
 H1. INSTALL METALLIC WARNING TAPE MIN. 1' ABOVE HDPE TUBING FROM TAP CONNECTION TO METER.
 H2. TUBING SHALL BE PLACED SO THAT IT IS RELAXED AND "SNAKES" LOOSELY IN THE TRENCH.
 H3. TUBING, WHEN BENT, SHALL HAVE A RADIUS NO SMALLER THAN THE VALUE SHOWN IN TABLE 1.
 H4. IF A FITTING WILL BE INSTALLED WITHIN A BENT SECTION OF TUBING, THE TUBING SHALL HAVE A RADIUS NO SMALLER THAN THE VALUE SHOWN IN TABLE 2.
 H5. INSERT STIFFENERS FOR HDPE TUBING PER SPL WW-65B TO BE INSTALLED INSIDE TUBING AT ALL COMPRESSION FITTINGS.

NOMINAL TUBING DIA.	BEND RADIUS OF AT LEAST
1"	3'
1 1/2"	4'
2"	5'

NOMINAL TUBING DIA.	BEND RADIUS OF AT LEAST
1"	12"
1 1/2"	18"
2"	20"

RECLAIMED WATER:
 R1. FOR RECLAIMED WATER SERVICES AND METERS, ALL RECLAIMED TUBING SHALL BE MANUFACTURED PURPLE TUBING. HDPE TUBING SHALL BE MANUFACTURED WITH PURPLE STRIPES. ALL OTHER TUBING AND APPURTENANCES SHALL BE MANUFACTURED PURPLE IF AVAILABLE. ALL TUBING AND FITTINGS THAT ARE NOT AVAILABLE FROM THE MANUFACTURER IN PURPLE SHALL BE PAINTED PURPLE PER SPL WW-3C. ALL BURIED DI AND CI PIPE AND FITTINGS SHALL ALSO BE WRAPPED IN PURPLE POLYETHYLENE PER SPL WW-27D. ALL COVERS SHALL HAVE "RECLAIMED WATER" CAST INTO THEM.

CITY OF AUSTIN	WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS	CITY OF AUSTIN	WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS
RECORD COPY SIGNED BY KATHI L FLOWERS	05/18/2016 ADOPTED	RECORD COPY SIGNED BY KATHI L FLOWERS	05/18/2016 ADOPTED
STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02
1 OF 3	1 OF 3	2 OF 3	3 OF 3

CITY OF AUSTIN	WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS	CITY OF AUSTIN	WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS
RECORD COPY SIGNED BY KATHI L FLOWERS	05/18/2016 ADOPTED	RECORD COPY SIGNED BY KATHI L FLOWERS	05/18/2016 ADOPTED
STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02
2 OF 3	2 OF 3	3 OF 3	3 OF 3

CITY OF AUSTIN	WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS	CITY OF AUSTIN	WATER SERVICE & METER INSTALLATION - 1" & SMALLER METERS
RECORD COPY SIGNED BY KATHI L FLOWERS	05/18/2016 ADOPTED	RECORD COPY SIGNED BY KATHI L FLOWERS	05/18/2016 ADOPTED
STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02	STANDARD NO. 520-AW-02
3 OF 3	3 OF 3	3 OF 3	3 OF 3